



# TOPOGRAPHIC & BOUNDARY SURVEY

## LEGAL DESCRIPTION

ALL THAT TT UR PARCEL OF LAND BEING PTN OF SEC 6 AND 7-23-4 EWM AND MORE PARTICULARLY DAF; COMM AT THE SW COR OF THE E1/2 OF THE NE1/4 OF THE NW1/4 OF SD SEC 7; TH N 01°27'00"E ALG THE W LN OF SD E/2 OF THE NE1/4 OF THE NW1/4 1160.81 FT TO THE TRUE POB; TH CONTG N 01°27'00"E 150.00 FT TO THE S LN OF SD SEC 6; TH N89°31'16"E ALG THE S LN OF SD SEC 6, 30.00 FT, MRL, TO THE E LN OF 10TH AVE SW; TH N 01°18'07"W ALG SD E LN 811.50 FT; TH N 89°44'43" E 151.50 FT; TH N 11°8'07" W 240.00 FT; TH S 89°44'43" W 28.50 FT; TH N 11°8'07" W 58.50 FT; TH N 89°44'43" E 230.00 FT; TH N 11°8'07" W 181.50 FT TO THE S LN OF SW 108TH ST; TH N89°44'43" E ALG THE S LN 245.90 FT TO THE W LN OF 8TH AVE SW (FRMLY BURIEN WAY); TH ALG SD W IN, S 01°37'52"E 105.06 FT TO A TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 603.14 TH ALG SDCURVE THRU A CENTRAL ANGLE OF 18°08'50" A DIST OF 191.03 FT; TH S 01°37'52"E 338.15 FT; TH N89°41'57" E 398.43 FT; TH N 0°54'25" W 329.86 FT; TH N 89°44'45" E 122.00 FT; TH N 0°54'25" W 299.76 FT TO THE S LN OF SW 108TH ST; TH N 89°47'02" E ALG SD S LN, 14.63 FT TO A TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 455.14 FT, TH ALG SD CURVE THRU A CENTRAL ANGLE OF 23°24'42" A DIST OF 185.98 FT TO A CURVE TO THE RIGHT HAVING A RADIUS OF 395.14 FT; TH ALG SD CURVE THRU A CENTRAL ANGLE OF 15°7'06" A DIST OF 13.46 FT; TH S 00°18'00" E 1072.32 FT; TH S 82°11'20" W 185.86 FT; TH S 07°49'01" E 390.67 FT; TH S 89°46'22" W 1243.21 FT TO THE TRUE POB. EXCEPT PTN THROF LYING WITHIN THE N 30.00 FT OF THE E 152.00 FT TO THE NE1/4 OF THE NW1/4 OF THE SW1/4 OF THE SE1/4; AND WITHIN THE N 30.00 FT OF THE W 30.00 FT OF THE NE1/4 OF THE SW1/4 OF THE SE1/4 OF SD SEC 6, WCH WAS CYD TO KC FOR RD PURPOSES BY DEED RECD IN VOL 8 OF ROAD BOOKS, PG 294, UNDR AUD'S FL NO 144401.

## SURVEYOR'S NOTES

1. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN APRIL OF 2018 & MARCH OF 2020. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
2. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
3. BURIED UTILITIES SHOWN BASED ON RECORDS FURNISHED BY OTHERS AND VERIFIED WHERE POSSIBLE IN THE FIELD. TERRANE ASSUMES NO LIABILITY FOR THE ACCURACY OF THOSE RECORDS OR ACCEPT RESPONSIBILITY FOR UNDERGROUND LINES WHICH ARE NOT MADE PUBLIC RECORD. FOR THE FINAL LOCATION OF EXISTING UTILITIES IN AREAS CRITICAL TO DESIGN CONTACT THE UTILITY OWNER/AGENCY. AS ALWAYS, CALL 1-800-424-5555 BEFORE CONSTRUCTION.
4. SUBJECT PROPERTY TAX PARCEL NO. 062304-9405
5. SUBJECT PROPERTY AREA PER THIS SURVEY IS 122,315 ±S.F. (2.81 ACRES)
6. THE PROPERTY DESCRIBED HEREON IS THE SAME AS THE PROPERTY DESCRIBED IN FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. 4209-226718, WITH AN EFFECTIVE DATE OF MARCH 19, 2019 AND THAT ALL EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN SAID TITLE COMMITMENT OR APPARENT FROM A PHYSICAL INSPECTION OF THE PROPERTY OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE PROPERTY.
7. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 5-SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090.
8. THE WETLAND AND STREAM BUFFERS SHOWN APPROXIMATELY HEREON WERE TAKEN FROM THE CAPITOL HILL HOUSING CRITICAL AREAS REPORT BY PBS, PROJECT NO. 41308.027, DATED DECEMBER 24TH, 2020.

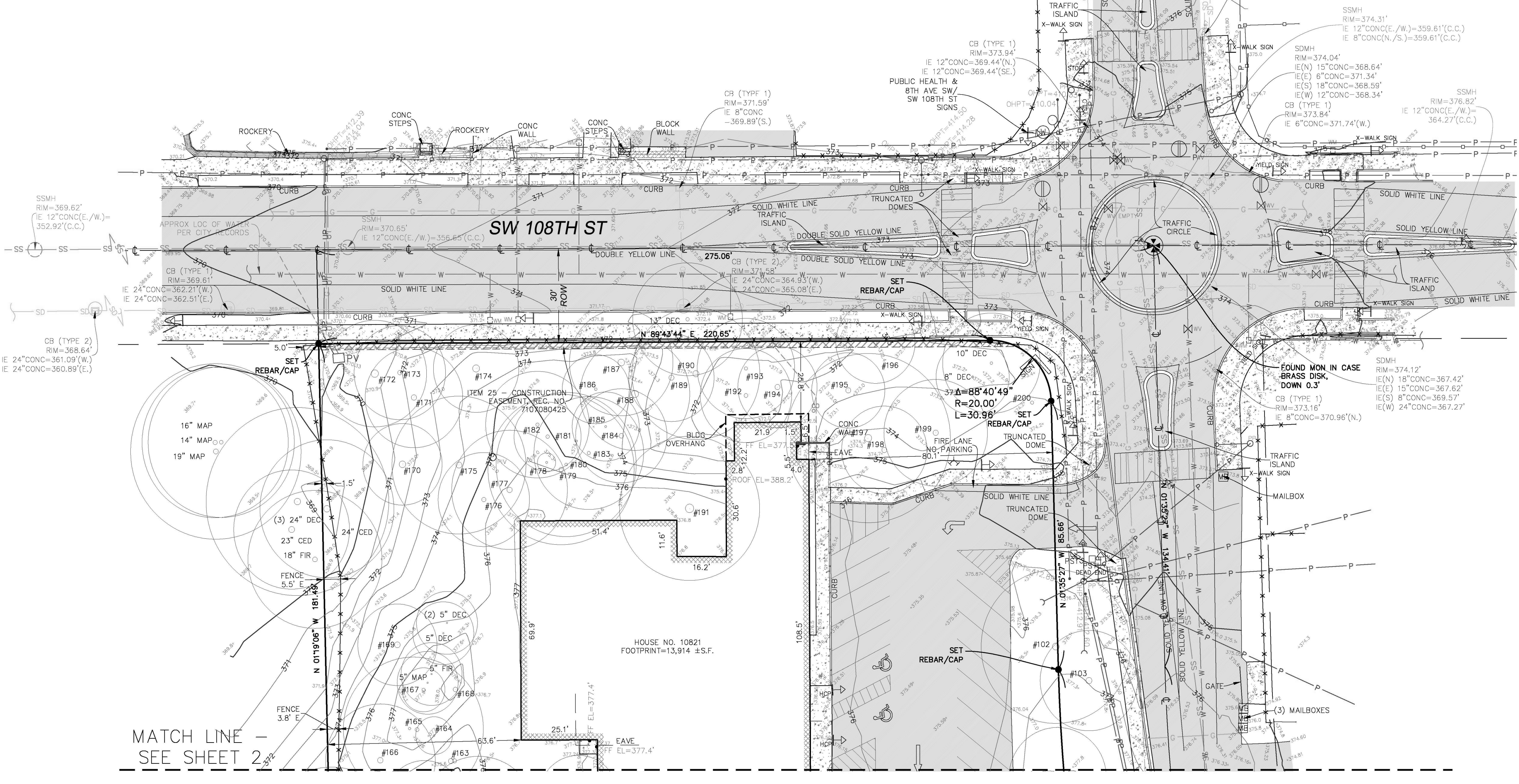
## LEGEND

	AREA DRAIN		POST INDICATOR VALVE
	ASPHALT SURFACE		POWER METER
	BRICK SURFACE		POWER (OVERHEAD)
	BOLLARD		POWER (UNDERGROUND)
	BUILDING		POWER POLE
	CENTERLINE ROW		POWER POLE W/ LIGHT
	CLEANOUT		POWER VAULT
	CONCRETE SURFACE		REBAR AS NOTED (FOUND)
	RETAINING WALL		REBAR & CAP (SET)
	DECK		ROCKERY
	FENCE LINE (CHAIN LINK)		SEWER LINE
	FENCE LINE (WOOD)		SEWER MANHOLE
	POWER TRANSFORMER ON POLE		SIGN (AS NOTED)
	FIRE DEPT CONNECTION		STORM MANHOLE
	FIRE HYDRANT		STORM DRAIN LINE
	GAS LINE		TREE (AS NOTED)
	GAS METER		UTILITY LINE
	GAS VALVE		WATER GATE VALVE
	GRAVEL SURFACE		WATER LINE
	GUY ANCHOR		WATER METER
	INLET (TYPE 1)		WATER VALVE
	INLET (TYPE 2)		WETLAND FLAG
	LUMINAIRE		YARD LIGHT
	MAILBOX (RESIDENTIAL)		HANDICAP STALL
	MONUMENT IN CASE (FOUND)		
	AC UNIT		
	POST		



BASIS OF BEARINGS
HELD BEARING OF N 89°43'44" E ALONG MONUMENTED S.W. 108TH ST AS SHOWN HEREON AND PER R1
REFERENCES
R1 KING COUNTY EXEMPT SEGREGATION NO. EW5C15-0026, RECORDED IN BOOK 336 OF SURVEYS, PAGES 155 & 156, RECORDS OF KING COUNTY, WASHINGTON.
VERTICAL DATUM
NAVD88 PER GPS OBSERVATIONS

EASEMENT LEGEND	
	ITEM NO. 25 - CONSTRUCTION EASEMENT, REC. NO. 7107080425
	ITEM NO. 26 - FOOD BANK OPERATIONS ESM, REC. NO. 20051006000564.



measure success

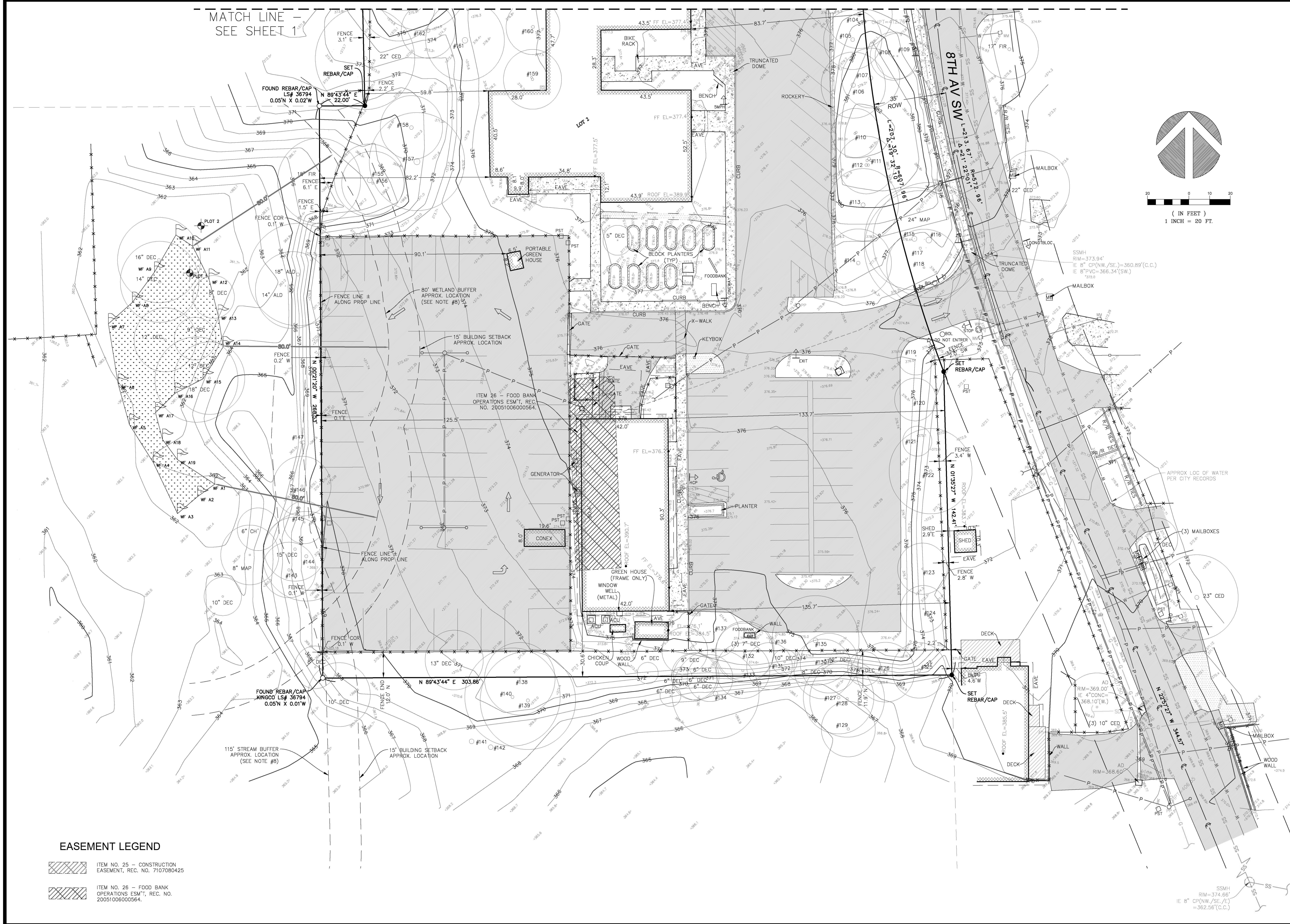
TOPOGRAPHIC & BOUNDARY SURVEY  
SE 1/4 OF SW 1/4 SEC 06, TWP. 23N., RGE 04E., W.M.  
PARCEL NO. 0623049405  
10821 8TH AVE SW  
SEATTLE, WA 98146



**Terrane**  
10801 Main Street, Suite 102, Bellevue, WA 98004  
phone 425-458-4488 support@terrane.net  
www.terrane.net

JOB NUMBER:	180438
DATE:	05/11/18
DRAFTED BY:	IDV-SMS
CHECKED BY:	EJG/TMM
SCALE:	1"= 20'
REVISION HISTORY	
02/11/20	TITLE REVIEW
8/31/20	TITLE REVIEW
3/17/21	ADDTL TOPO
3/30/21	REVISED BUFFERS
SHEET NUMBER	
1 OF 3	

# TOPOGRAPHIC & BOUNDARY SURVEY



### EASEMENT LEGEND

- ITEM NO. 25 - CONSTRUCTION EASEMENT, REC. NO. 7107050425
- ITEM NO. 26 - FOOD BANK OPERATIONS ESM, REC. NO. 20051006000564

measure success

---

TOPOGRAPHIC & BOUNDARY SURVEY  
SE 1/4 OF SW 1/4 SEC 06, TWP. 22N., RGE 04E., W.1M.  
PARCEL NO. 0620049405

10821 8TH AVE SW  
SEATTLE, WA 98146

---

---

10801 Main Street, Suite 102, Bellevue, WA 98004  
phone 425.458.4488 support@terrane.net  
www.terrane.net

JOB NUMBER: 180438  
DATE: 05/11/18  
DRAFTED BY: IDV-SMS  
CHECKED BY: EJG/TMM  
SCALE: 1"=20'  
REVISION HISTORY  
02/11/20 TITLE REVIEW  
03/1/20 TITLE REVIEW  
03/17/21 ADDTL TOPO  
03/30/21 REVISED BUFFER  
SHEET NUMBER  
2 OF 3

# TOPOGRAPHIC & BOUNDARY SURVEY

## SCHEDULE B ITEMS

16. EASEMENT, INCLUDING TERMS AND PROVISIONS CONTAINED THEREIN:  
 RECORDED: OCTOBER 01, 1927  
 RECORDING INFORMATION: 2413723  
 IN FAVOR OF: PUGET SOUND ENERGY, INC., A WASHINGTON CORPORATION  
 FOR: ELECTRIC TRANSMISSION AND/OR DISTRIBUTION SYSTEM (EASEMENT IS SOUTH OF PROPERTY (NOT ADJOINING) AND IN QUARTER SECTION TO THE EAST. (DOES NOT ENCUMBER SUBJECT PROPERTY)

17. RIGHT TO MAKE NECESSARY SLOPES FOR CUTS OR FILLS UPON SAID PREMISES AS GRANTED BY DEED RECORDED MARCH 21, 1940 UNDER RECORDING NO. 3091891 AND 3091892.  
 (NOT PLOTTED, FALLS 300 FEET WEST OF SITE, DOES NOT ENCUMBER SUBJECT PROPERTY)

18. EASEMENT, INCLUDING TERMS AND PROVISIONS CONTAINED THEREIN:  
 CONDEMNED IN U.S. WESTERN DISTRICT COURT CAUSE NUMBER: 624  
 IN FAVOR OF: THE UNITED STATES OF AMERICA  
 FOR: TO REPAIR, REPLACE AND USE SEWER PIPELINES

SAID EASEMENT IS ALSO RECORDED UNDER RECORDING NUMBER 3266444.

SAID EASEMENT RIGHTS WERE ASSIGNED TO THE SOUTHWEST SUBURBAN SEWER DISTRICT BY DEED RECORDED UNDER RECORDING NUMBER 4551216.  
 (NOT PLOTTED, CLOSEST PART OF EASEMENT IS 200 FEET +- WEST OF SUBJECT PROPERTY, DOES NOT ENCUMBER SUBJECT PROPERTY)

19. EASEMENT, INCLUDING TERMS AND PROVISIONS CONTAINED THEREIN:

RECORDING INFORMATION: 4693732  
 IN FAVOR OF: SOUTHWEST SUBURBAN SEWER DISTRICT  
 FOR: SEWER WITH THE NECESSARY APPURTENANCES  
 (NOT PLOTTED, FALLS 200 FEET SOUTH OF SUBJECT PROPERTY, DOES NOT ENCUMBER SUBJECT PROPERTY)

20. EASEMENT, INCLUDING TERMS AND PROVISIONS CONTAINED THEREIN:  
 RECORDING INFORMATION: 4704076  
 FOR: A ROAD  
 (NOT PLOTTED, LOCATION OF ROAD, SEWER LINE AND POWER POLES NOT DESCRIBED IN DOCUMENT, DOES ENCUMBER SUBJECT PROPERTY)

21. RIGHT TO MAKE NECESSARY SLOPES FOR CUTS OR FILLS UPON SAID PREMISES AS GRANTED BY DEED RECORDED OCTOBER 03, 1961 UNDER RECORDING NO. 5336589.  
 (NOT PLOTTED, EASEMENT LIES BETWEEN 6TH AVE. SW AND 4TH AVE. S.W. IN SW 180TH ST -600 FEET TO EAST, DOES NOT ENCUMBER SUBJECT PROPERTY)

22. EASEMENT, INCLUDING TERMS AND PROVISIONS CONTAINED THEREIN:

RECORDING INFORMATION: 5539478  
 IN FAVOR OF: THE HOUSING AUTHORITY OF THE COUNTY OF KING, WASHINGTON  
 FOR: STORM SEWER  
 (NOT PLOTTED, DOES NOT ENCUMBER SUBJECT PROPERTY, FALLS 1300 FEET SOUTH OF SUBJECT PROPERTY)

23. EASEMENT, INCLUDING TERMS AND PROVISIONS CONTAINED THEREIN:

RECORDING INFORMATION: 7106150445  
 IN FAVOR OF: KING COUNTY, WASHINGTON  
 FOR: SLOPES  
 (NOT PLOTTED, DOES NOT ENCUMBER SUBJECT PROPERTY, FALLS EAST OF 8TH AVE. S.W.)

24. RIGHT TO MAKE NECESSARY SLOPES FOR CUTS OR FILLS UPON SAID PREMISES AS GRANTED BY DEED RECORDED JULY 08, 1971 UNDER RECORDING NO. 7107080424.  
 (NOT PLOTTED, DOES ENCUMBER SUBJECT PROPERTY, REFERS TO 20 FOOT RADIUS AT NORTHEAST CORNER OF SUBJECT PROPERTY.)

25. EASEMENT, INCLUDING TERMS AND PROVISIONS CONTAINED THEREIN:

RECORDING INFORMATION: 7107080425  
 IN FAVOR OF: KING COUNTY, WASHINGTON  
 FOR: THE RIGHT TO LOCATE EQUIPMENT AND TO WORK ON SAID LAND FOR THE PURPOSE OF CARRYING ON CONSTRUCTION ACTIVITIES (PLOTTED, DOES ENCUMBER SUBJECT PROPERTY)

26. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "FOOD BANK OPERATIONS EASEMENT AND AGREEMENT"  
 RECORDED: OCTOBER 06, 2005  
 RECORDING NO.: 20051006000564  
 (PLOTTED, DOES ENCUMBER SUBJECT PROPERTY)

27. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "ASSIGNMENT AND ASSUMPTION OF USE AGREEMENT"  
 RECORDED: DECEMBER 26, 2011  
 RECORDING NO.: 2011228001182  
 (NOT PLOTTED, FALLS 400 FEET EAST OF SUBJECT PROPERTY, DOES NOT ENCUMBER SUBJECT PROPERTY)

28. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "MEMORANDUM OF SUB-USE AGREEMENT"  
 RECORDED: DECEMBER 28, 2011  
 RECORDING NO.: 2011228001185  
 (NOT PLOTTED, FALLS 400 FEET EAST OF SUBJECT PROPERTY, DOES NOT ENCUMBER SUBJECT PROPERTY)

29. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "DECLARATION OF COVENANT"  
 RECORDED: SEPTEMBER 10, 2012  
 RECORDING NO.: 20120910000742  
 (NOT PLOTTED, LOCATION OF STORM WATER MAINTENANCE ARE ONLY SHOWN GEOGRAPHICALLY, DOES ENCUMBER SUBJECT PROPERTY)

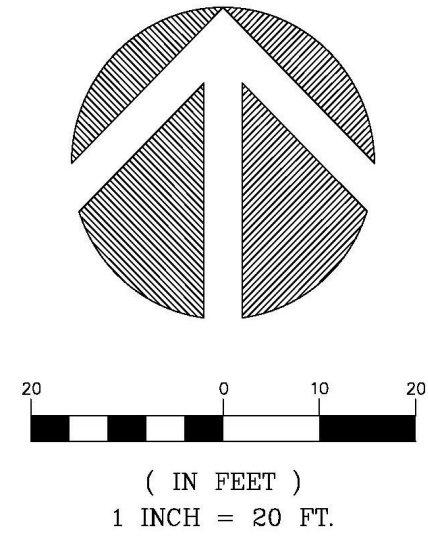
## SCHEDULE B ITEMS

30. TERMS, COVENANTS, CONDITIONS, RESTRICTIONS, EASEMENTS, BOUNDARY DISCREPANCIES AND ENCROACHMENTS AS CONTAINED IN RECORDED KING COUNTY EXEMPT SEGREGATION NO. EMS015-0026  
 RECORDED: JANUARY 08, 2016  
 RECORDING INFORMATION: 20160108900001  
 (CURRENT CONDITIONS SHOWN HEREON)

31. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "CUSTODIAL TRANSFER AGREEMENT"  
 RECORDED: APRIL 29, 2016  
 RECORDING NO.: 20160429001204  
 (NOT PLOTTED, DOES ENCUMBER SUBJECT PROPERTY)

32. CONDITIONS, NOTES, EASEMENTS, PROVISIONS AND/OR ENCROACHMENTS CONTAINED OR DELINEATED ON THE FACE OF THE SURVEY RECORDED UNDER RECORDING NO. 20181018900014.  
 (CURRENT CONDITIONS SHOWN HEREON)

NOTE: ARBORIST REPORT PREPARED BY URBAN FORESTRY SERVICES, MOUNT VERNON, WA (THIS REPORT HAS THE SAME NUMBER USED ON MULTIPLE TREES; THERE WERE TREE TAGS FOUND ON-SITE THAT WERE NOT INCLUDED IN THIS REPORT & THERE WERE TREES INCLUDED IN THIS REPORT AND NO CORRESPONDING TAGS FOUND ON SITE). TAGS #101, #148-#154 WERE NOT RECOVERED.



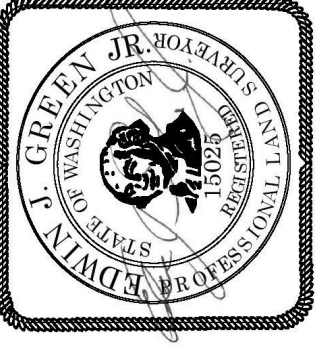
measure success

TOPOGRAPHIC & BOUNDARY SURVEY

SE 1/4 OF SW 1/4 SEC 06, TWP. 22N., RGE 04E., W4E.  
 PARCEL NO. 0620649405

10821 8TH AVE SW

SEATTLE, WA 98146



Terrane

10801 Main Street, Suite 102, Bellevue, WA 98004  
 phone 425.458.4488 support@terrane.net  
[www.terrane.net](http://www.terrane.net)

JOB NUMBER: 180438  
 DATE: 05/17/18  
 DRAFTED BY: IDV-SMS  
 CHECKED BY: EJG/TMM  
 SCALE: 1"= 20'

REVISION HISTORY	
02/11/20	TITLE REVIEW
03/17/20	TITLE REVIEW
03/17/21	ADDTL TOPO
03/30/21	REVISED BUFFER

SHEET NUMBER  
 3 OF 3

Table with 4 columns: Code Section, Title, Allowed/Required, Proposed, Notes/Departures. Rows include 21A 14.220 Fences, 21A CHAPTER 16 LANDSCAPE AND WATER, 21A 16.010 Purpose, 21A 16.010 Landscaping Screens, 21A 16.050 Street Landscaping, 21A 16.060 Interior Lot Lines, 21A 16.070 Parking, 21A 16.115 Landscape Plan, 21A 16.1167 Significant Tree Definition, 16 82.166 Significant Tree Retention- In Required Landscape Perimeter, 16 82.166 Significant Tree Retention- In Interior of Site, 16 82.166 Significant Trees- Process, 16 82.166 Significant Trees- Bonuses, 16 82.166 Significant Trees- Replacement, 21A CHAPTER 18 PARKING, 21A 18.030 Off-Street Parking Quantity- Residential, 21A 18.030 Off-Street Parking Quantity- Non-Residential, 21A 18.030 Parking Reduction Option, 21A 18.030 Bike Racks, 21A 18.040 Shared Parking, 21A 18.070 Loading Space, 21A 18.070 Parking Space Sizes, 21A 18.030 Baseline Parking Quantity Calculation Method.

Table with 4 columns: Code Section, Title, Allowed/Required, Proposed, Notes/Departures. Rows include 21A 12.220 Non-Residential in Residential Zones- Setbacks, 21A 12.220 Non-Residential in Residential Zones- Parking in Setback, 21A 12.220 Non-Residential in Residential Zones- Lighting, 21A 12.220 Non-Residential in Residential Zones- Height, 21A 12.230 Non-Residential in Residential Zones- Personal Services, 21A 12.280 Non-Residential in Residential Zones- Office/Outpatient, 21A CHAPTER 14 DEV. STANDARDS- DESIGN, 21A 14.060 Townhouse Façade, 21A 14.060 Parking Location with Alley, 21A 14.090 Façade Modulation, 21A 14.110, 130 Mixed Use Development- Percentage Residential Floor Area, Building Floor Area, 21A 14.120 Mixed Use Development- Base Residential Density, 21A 16.753 Mixed Use Definition, 21A 14.135 Mixed Use Development- Design, 21A 14.135 Mixed Use Development- Parking Location, 21A 14.135 Mixed Use Development- Parking Quantity, 21A 14.145 Mixed Use Development- Phasing, 21A 14.160 On-Site Recreation Space- Size Calculation, 21A 14.160 On-Site Recreation Space- Design Standards, 21A 14.160 On-Site Recreation Space- Amenities Required, 21A 14.190 On-Site Play Areas, 21A 14.210 Storage for Recycle.

Table with 4 columns: Code Section, Title, Allowed/Required, Proposed, Notes/Departures. Rows include 10821 8th Ave SW 98146, 21A CHAPTER 4 ZONES AND DESIGNATIONS, 21A 04.080 General Description of R Zones, 21A CHAPTER 8 PERMITTED USES, 21A 08.030 Table R-18 Allowable Uses- Residential, 21A 08.040 Table R-18 Allowable Uses- Recreational and Cultural, 21A 08.050 Table R-18 Allowable Uses- General Services, 21A 08.080 Table R-18 Allowable Uses- Retail, 21A 08.265 Day Care Definition, 21A CHAPTER 12 DEVELOPMENT STANDARDS, 21A 12.030 Table Base Density Units/Acre, 21A 12.030 Table Maximum Density Units/Acre- Using Incentives per 21A.34, 21A 12.030 Table Minimum Density Units/Acre, 21A 12.030 Table Minimum Lot Size, 21A 12.030 Table Street Setbacks, 21A 12.030 Table Interior Setbacks (to other lots), 21A 12.030 Height Limit, 21A 12.030 Maximum Impervious Surface %, 21A 12.070 Calculations- Density, 21A 12.070 Calculations- Allowed Floor Area, 21A 12.080 Site Area Used for Calculations, 21A 12.220 Non-Residential in Residential Zones- Impervious Surfaces.

Table with 4 columns: Code Section, Title, Allowed/Required, Proposed, Notes/Departures. Rows include 21A CHAPTER 34 DENSITY INCENTIVES "RDPI", 21A 34.020-030 Residential Density Incentives (RDI) General, 21A 34.040 Density Incentives and Public Benefit, 21A 34.060 Review and Approval of RDI, 21A 34.040 F Benefits for Affordable Housing, 21A 34.040 F Benefits for Energy Conservation, 21A 34.040 F Benefits for Transit, 21A 34.080 RDI PARKING, 21A 34.080 Development Standards, 21A 34.080 Recreation Space, 21A 24.325 Wetland Buffers, 17.04370-420 FIRE APPARATUS, 17.04370-420 Fire Apparatus Access Roads.

WCHUB Baseline On-Site Parking Calculation

(.50 or more = round up, .49 or less, round down)

Per 21A.18.030 B: An applicant may request parking reduction by showing that parking demand can be met (i.e. demand study). Director may approve up to 50% of the minimum required number of spaces.

Table with 5 columns: USE, NASE/Or Units, RATE, SPACES REQD, CODE SECTION, NOTES. Rows include AFFORDABLE APARTMENTS, COMMUNITY SERVICE BUILDING (LL+L), TOP FLOOR CLINIC (L2), TOP FLOOR SWYFS-social services, SWYFS LOWER FLOOR (3) CLASSROOMS AND SURROUNDINGS SPACE, COMMUNITY ROOM, TOTAL REQUIRED BY CODE, MINIMUM ALLOWED IF CONFIRMED BY ANALYSIS (50%), PROVIDED ON SITE, DELTA, NSF CHECK- community building.

SUNDBERG KENNEDY LY-AU YOUNG ARCHITECTS

1501 E MADISON, SUITE 205  
SEATTLE WA 98122-4465  
206.322.1130

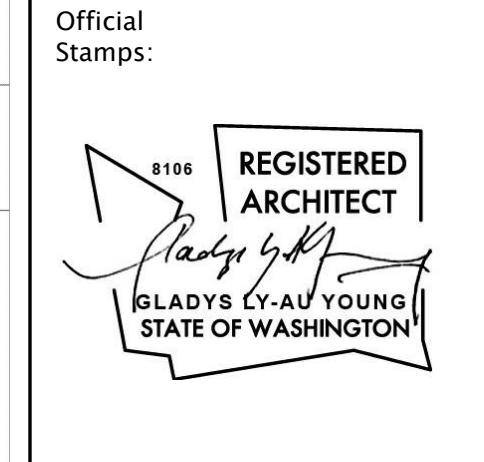


Table with 2 columns: REVISIONS (NO., DATE, DESCRIPTION) and Project information (Project number, Date, Project Manager, Drawn by, Checked by, Scale). Includes revision 2001-0423 and project details for White Center Community Hub.

ZONING CODE ANALYSIS  
A010  
Scale



Official  
Stamps:



**White Center Community HUB**  
10821 8th AVE SW SEATTLE, WA 98146

REVISIONS	NO.	DATE	DESCRIPTION	CUP
	2001	2021-04-23		KING COUNTY CUP APPLICATION SET

Project number	Date	Project Manager	Drawn by	Checked by

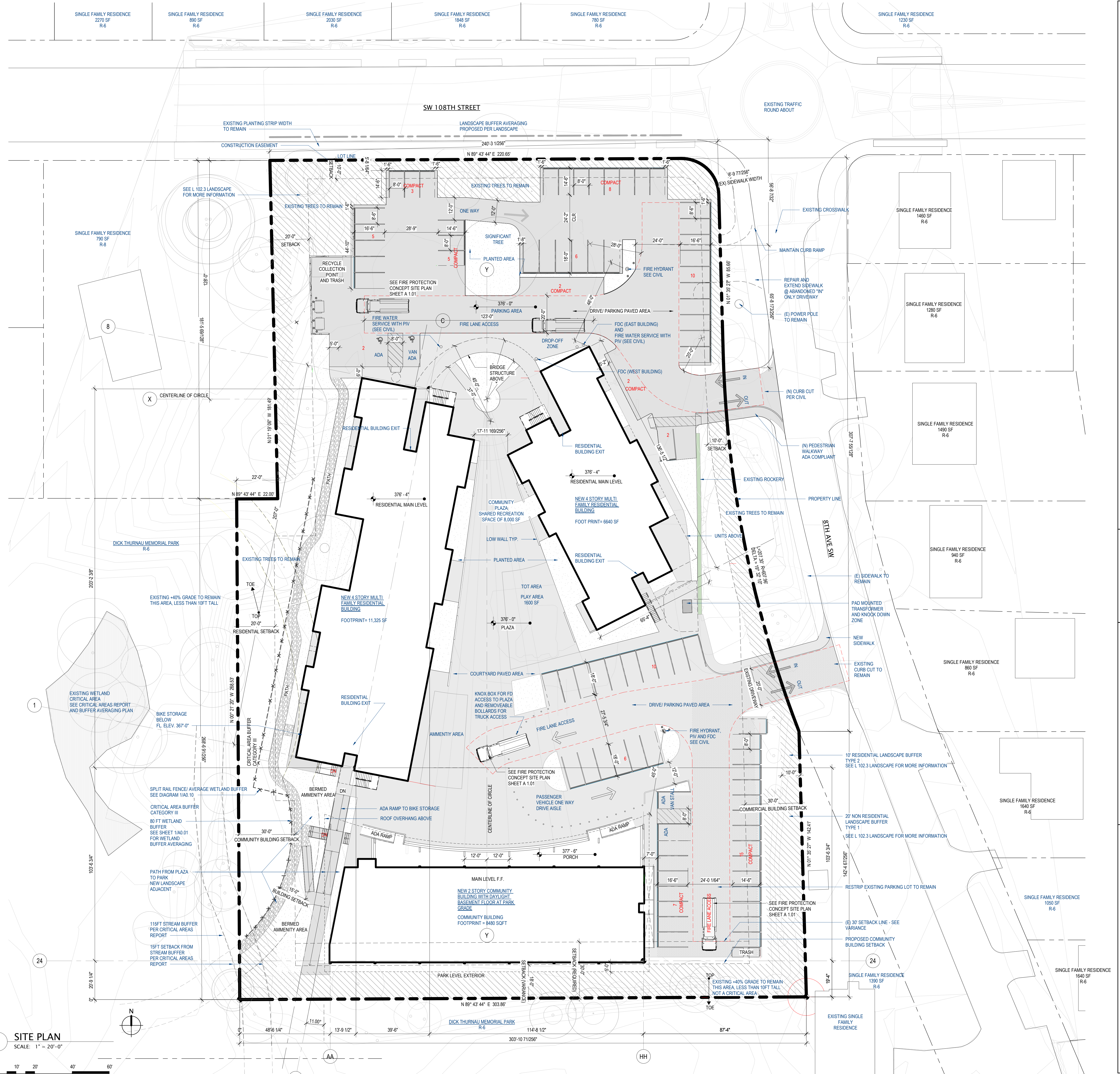
**A100**  
Scale As Indicated

**SITE PLAN LEGEND**

- PROPERTY LINE
- SETBACKS
- SPLIT RAIL FENCE/ AVERAGED WETLAND BUFFER
- FIRE LANE/ ACCESS
- OVERHEAD
- NEW PAVING/ ASPHALT
- NEW LANDSCAPING/ GRASS
- PROPOSED BUILDINGS
- ROCKERY
- WETLANDS
- LANDSCAPE BUFFER
- EXISTING PARKING LOT TO REMAIN
- GRAVEL PATH

**FLOOR PLAN LEGEND**

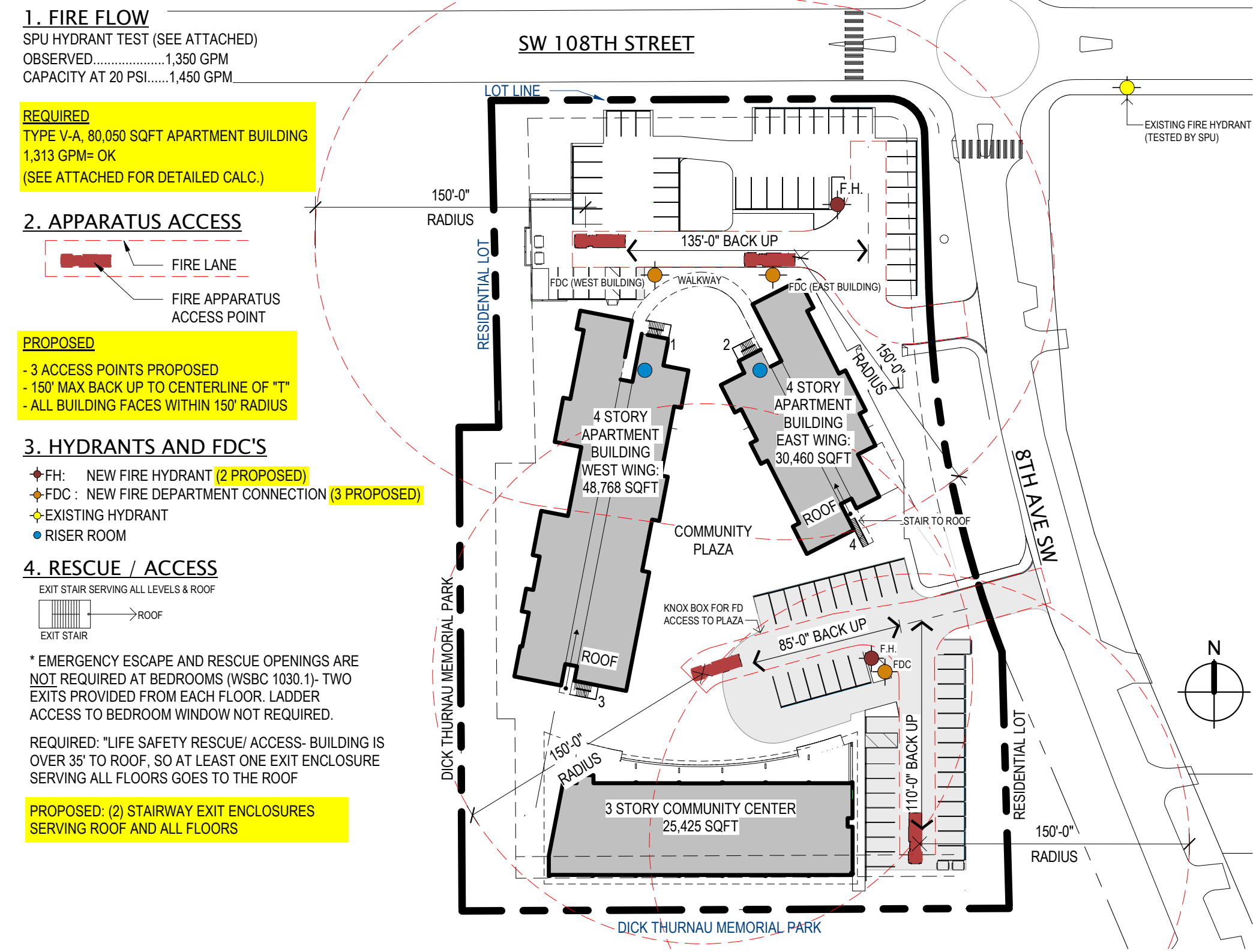
SCALE: 1/2" = 1'-0"



**1 SITE PLAN**  
SCALE: 1" = 20'-0"



100% (Final) White Center Community Development Association



**1. FIRE FLOW**  
 SPU HYDRANT TEST (SEE ATTACHED)  
 OBSERVED: 1,350 GPM  
 CAPACITY AT 20 PSI: 1,450 GPM

**REQUIRED**  
 TYPE I-A, 80,050 SQFT APARTMENT BUILDING  
 1,313 GPM OK  
 (SEE ATTACHED FOR DETAILED CALC.)

**2. APPARATUS ACCESS**  
 FIRE LANE  
 FIRE APPARATUS ACCESS POINT

**PROPOSED**  
 - 3 ACCESS POINTS PROPOSED  
 - 150' MAX BACK UP TO CENTERLINE OF "T"  
 - ALL BUILDING FACES WITHIN 150' RADIUS

**3. HYDRANTS AND FDC'S**  
 FH: NEW FIRE HYDRANT (2 PROPOSED)  
 FDC: NEW FIRE DEPARTMENT CONNECTION (3 PROPOSED)  
 EXISTING HYDRANT  
 RISER ROOM

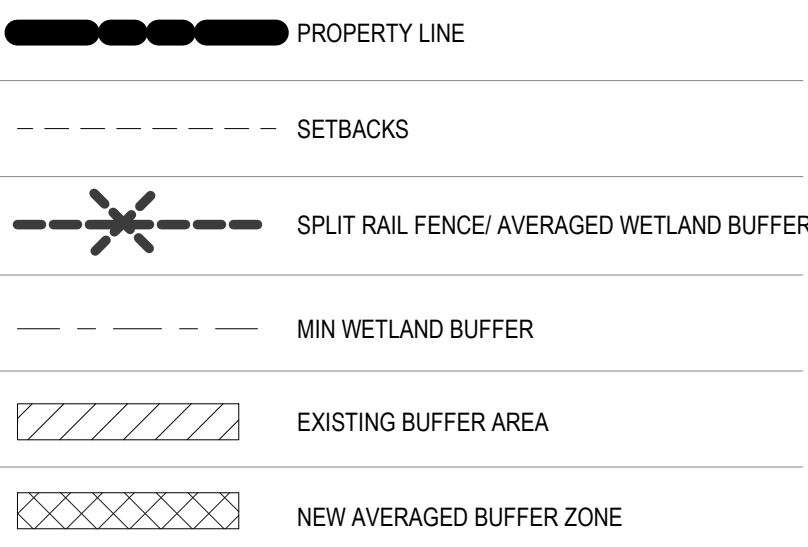
**4. RESCUE / ACCESS**  
 EXIT STAIR SERVING ALL LEVELS & ROOF  
 EXIT STAIR  
 EXIT STAIR

\* EMERGENCY ESCAPE AND RESCUE OPENINGS ARE NOT REQUIRED AT BEDROOMS (WBSC 1030.1). TWO EXITS PROVIDED FROM EACH FLOOR. LADDER ACCESS TO BEDROOM WINDOW NOT REQUIRED.  
 REQUIRED: "LIFE SAFETY RESCUE" ACCESS: BUILDING IS OVER 35' TO ROOF, SO AT LEAST ONE EXIT ENCLOSURE SERVING ALL FLOORS GOES TO THE ROOF

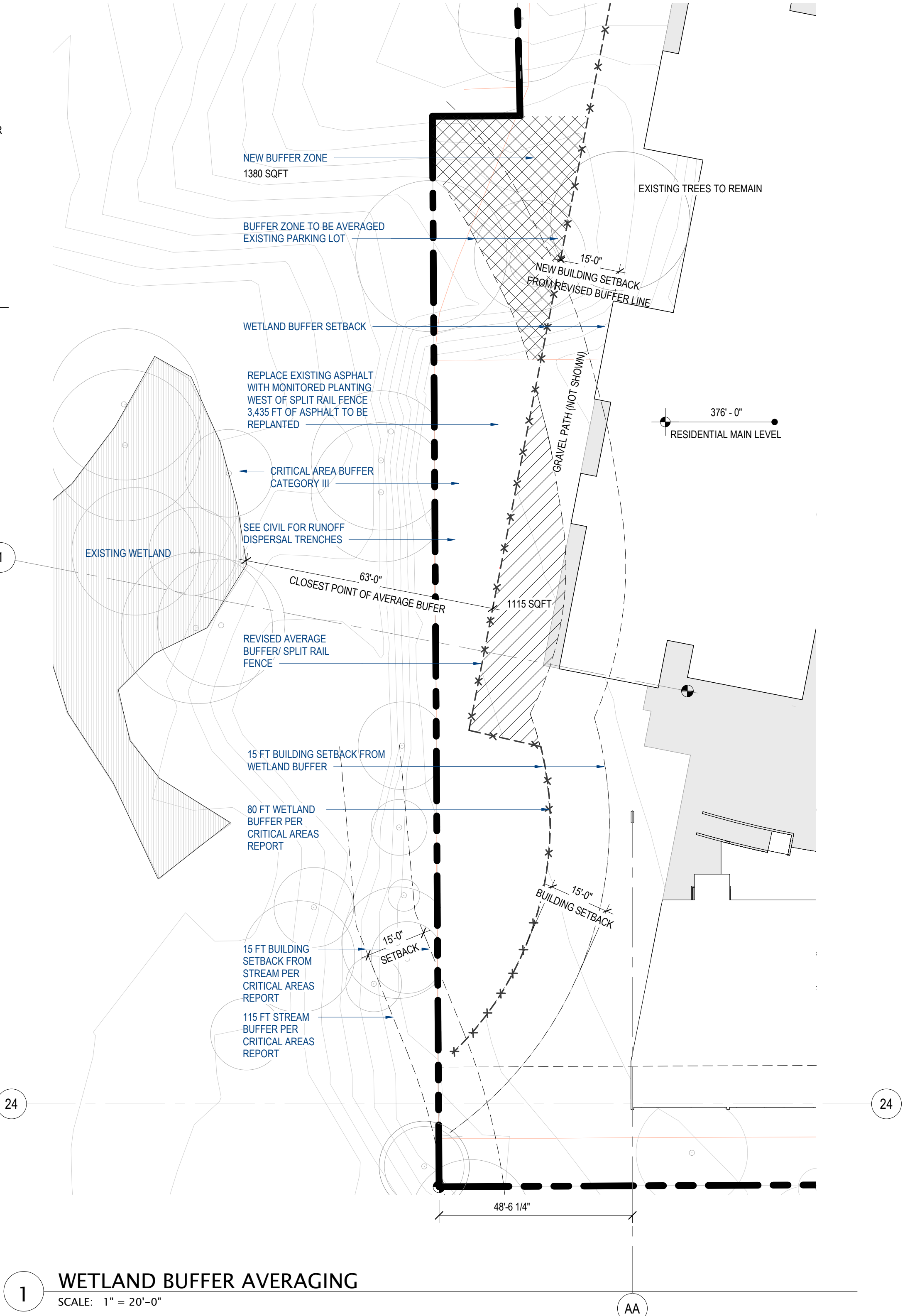
PROPOSED (2) STAIRWAY EXIT ENCLOSURES SERVING ROOF AND ALL FLOORS

**FIRE PROTECTION CONCEPT SITE PLAN**  
 SCALE: 1/64" = 1'-0"

**WETLAND AVERAGING LEGEND**

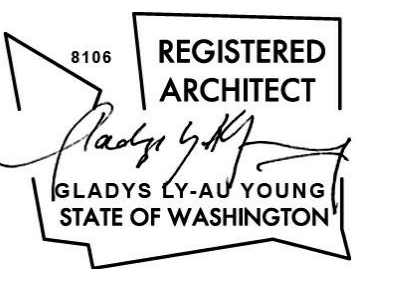


**FLOOR PLAN LEGEND**  
 SCALE: 12" = 1'-0"



**1 WETLAND BUFFER AVERAGING**  
 SCALE: 1" = 20'-0"

Official Stamps:



**White Center Community HUB**  
 10821 8th AVE SW SEATTLE, WA 98146

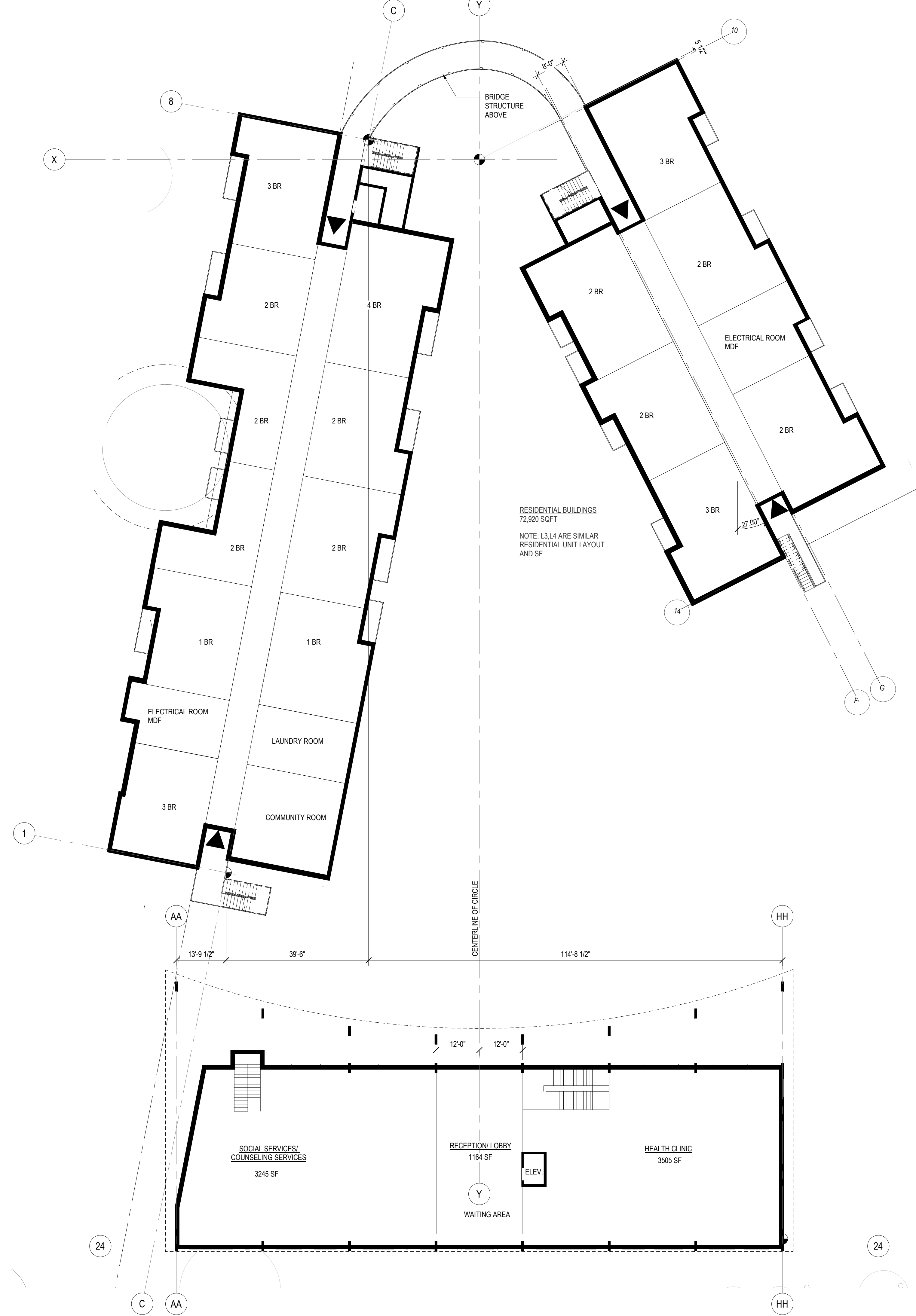
REVISIONS	NO.	DATE	DESCRIPTION	CUP
	2001	2021-04-23		KING COUNTY CUP APPLICATION SET
				2021-0423

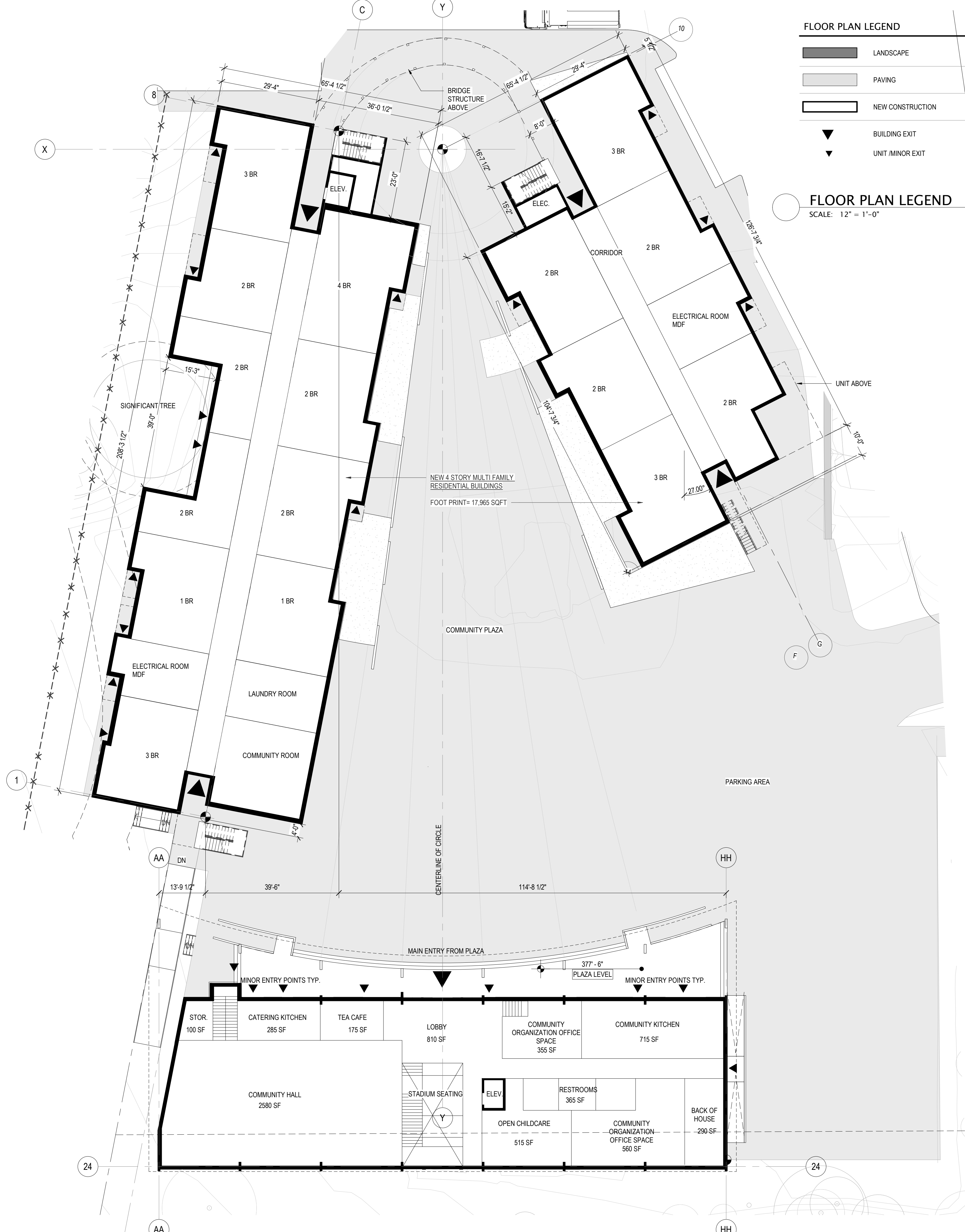
Project number	2001
Date	2021-04-23
Project Manager	JK
Drawn by	MS
Checked by	Checker

**WETLAND BUFFER AVERG. & FIRE DIAGRAM**

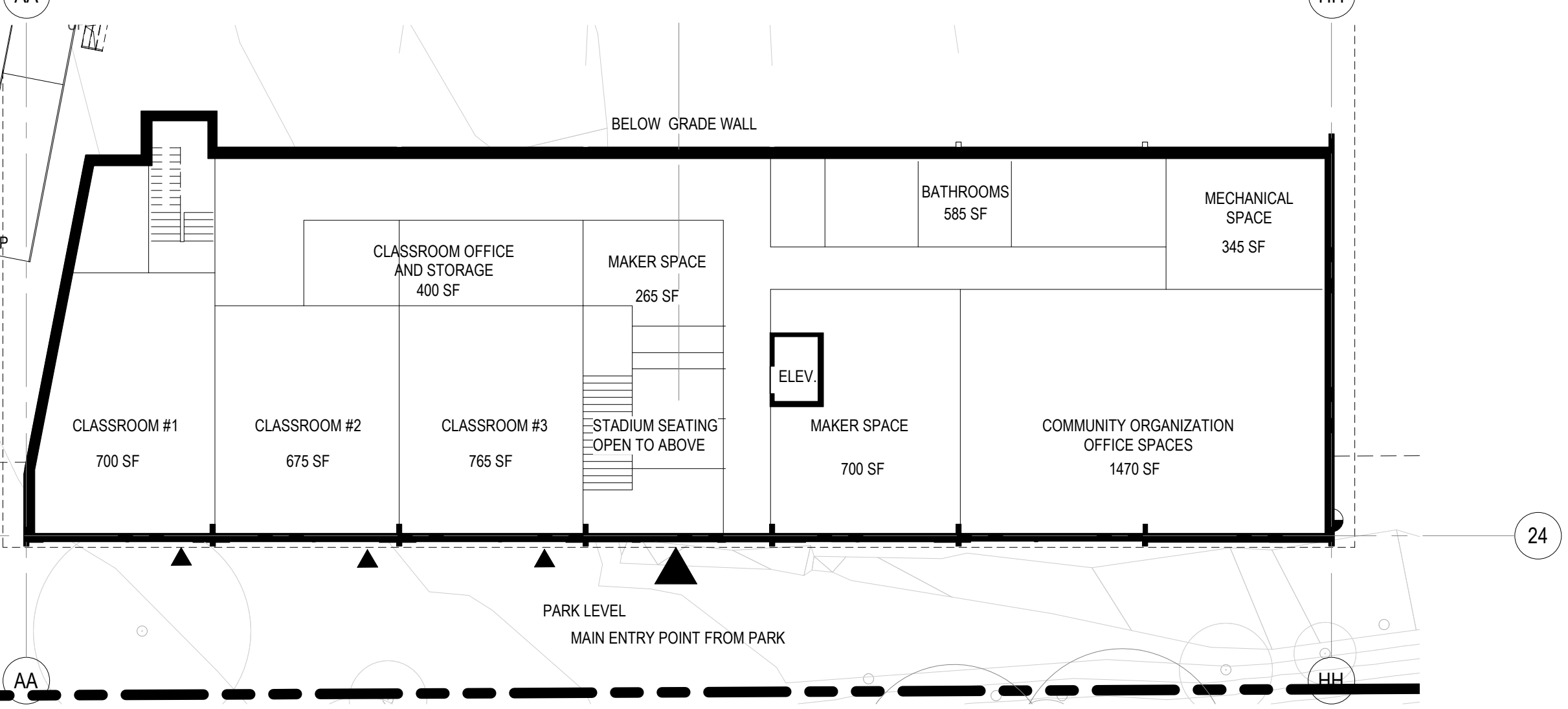
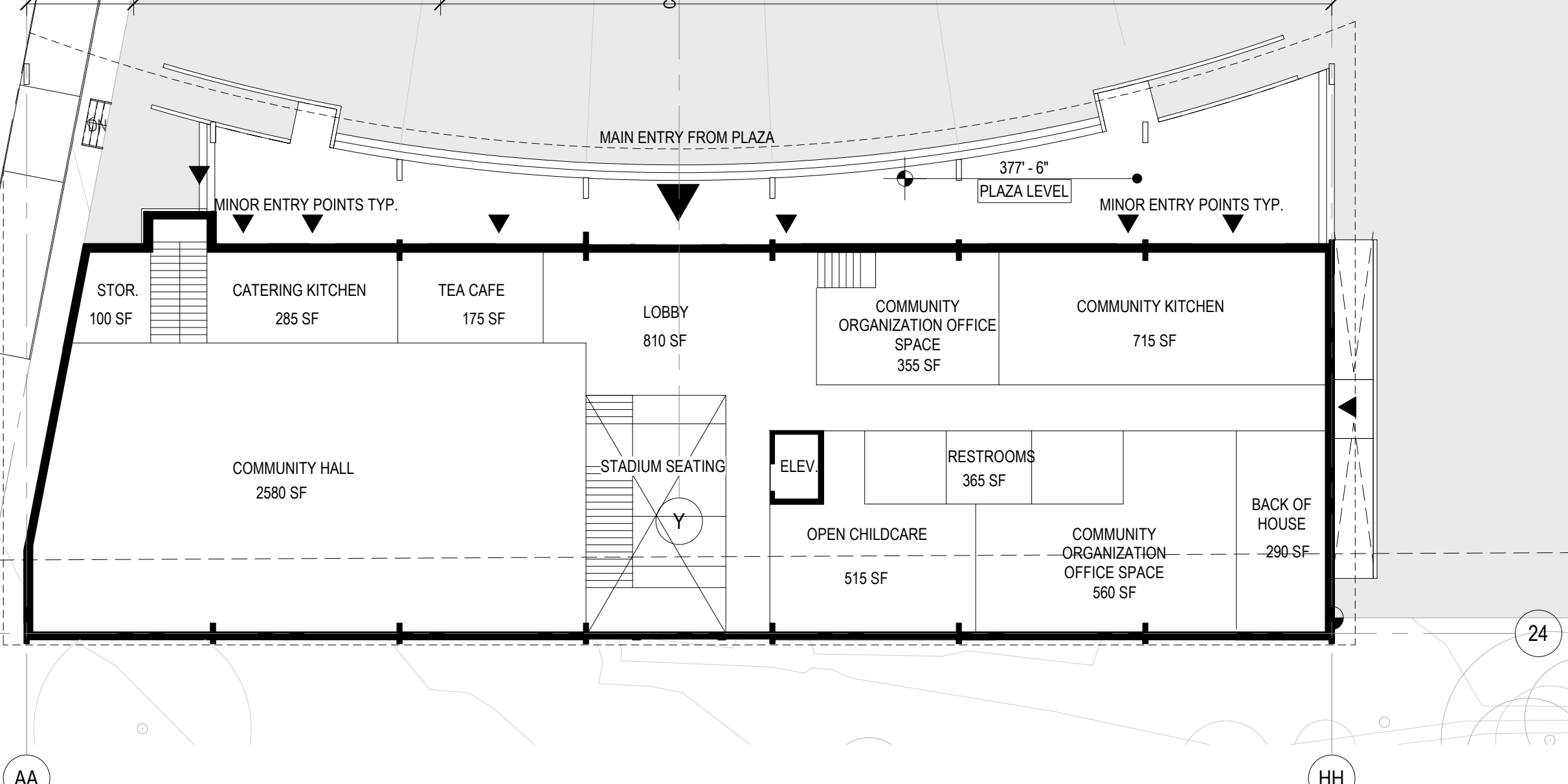
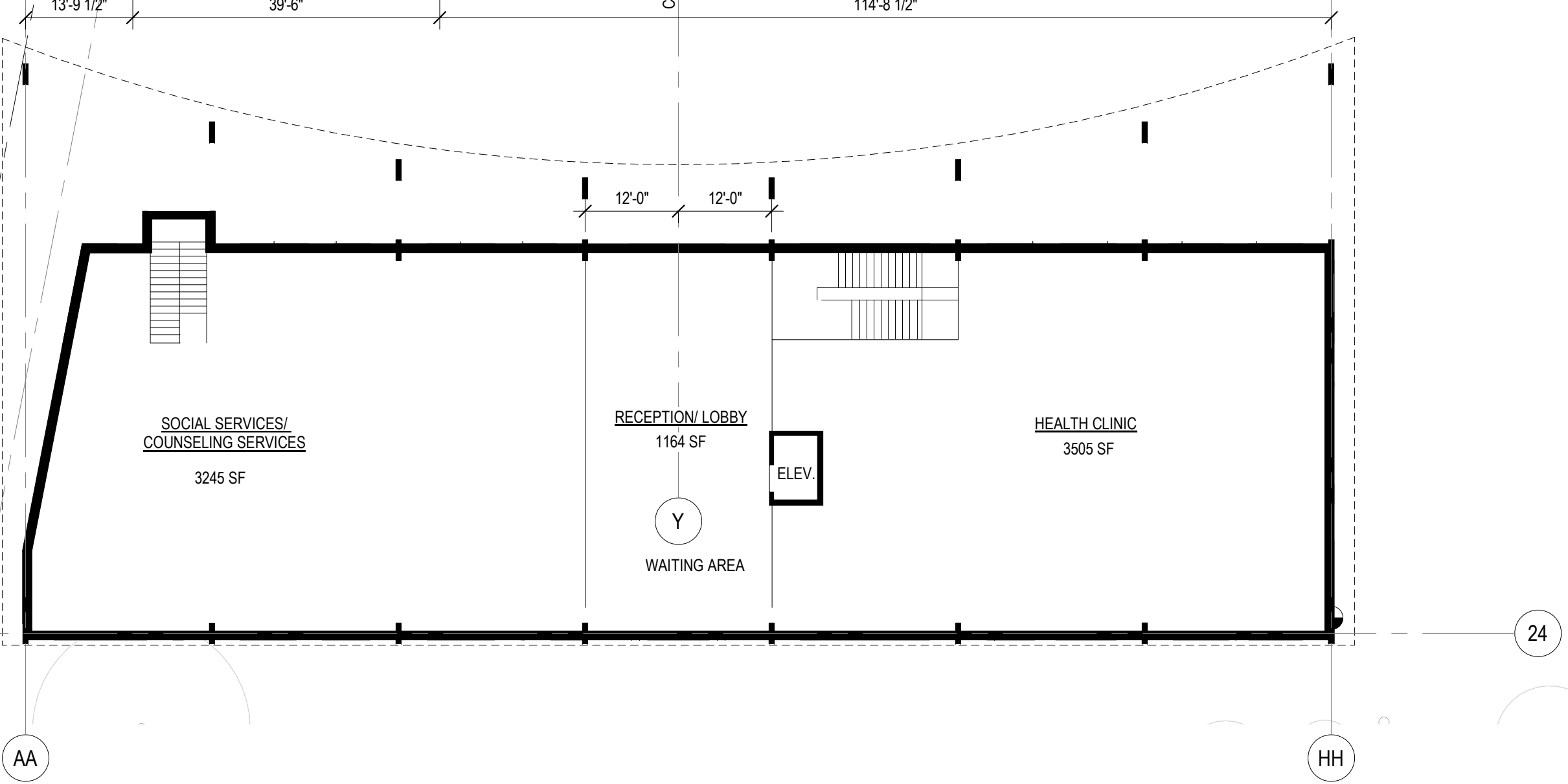
**A101**  
 Scale As Indicated



**2 SECOND LEVEL**  
SCALE: 1/16" = 1'-0"



**1 PLAZA LEVEL**  
SCALE: 1/16" = 1'-0"



**3 PARK LEVEL**  
SCALE: 1/16" = 1'-0"

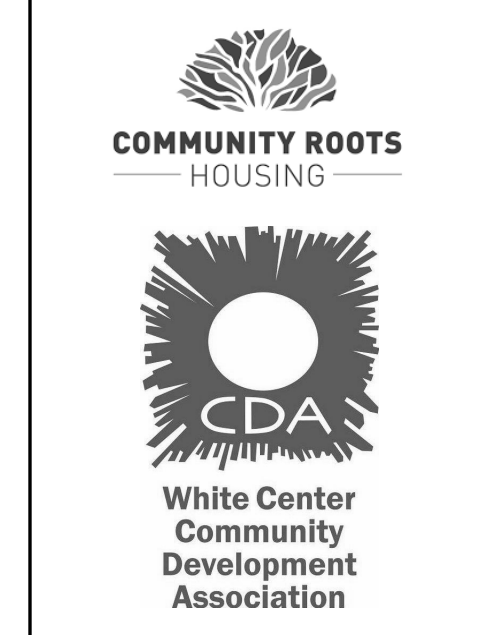
**FLOOR PLAN LEGEND**

- LANDSCAPE
- PAVING
- NEW CONSTRUCTION
- BUILDING EXIT
- UNIT MINOR EXIT

**FLOOR PLAN LEGEND**  
SCALE: 1/2" = 1'-0"

**SUNDBERG  
KENNEDY  
LY-AU YOUNG  
ARCHITECTS**

1501 E MADISON, SUITE 205  
SEATTLE WA 98122-4465  
206.322.1130



Official Stamps:

**REGISTERED ARCHITECT**  
*Randy Goff*  
Randy Goff  
BLADY'S CIVIL ENGINEERING  
STATE OF WASHINGTON

**White Center Community HUB**  
10821 8th AVE SW SEATTLE, WA 98146

REVISIONS NO.	DATE	DESCRIPTION	CUP
			KING COUNTY CUP APPLICATION SET
			2021-0423

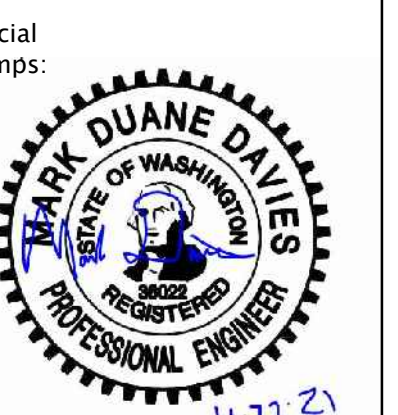
**BUILDING DIAGRAMS**

**A210**  
Scale As Indicated

Project number	Date	Project Manager	Drawn by	Checked by
2001	2021-0423	JK	MS	Checker







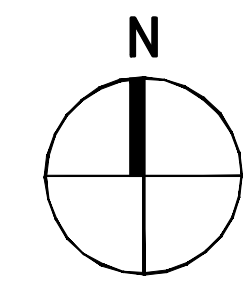
White Center Community HUB  
10821 8th Ave SW Seattle, WA 98146

REVISIONS	NO.	DATE	DESCRIPTION	CUP
	2001	2021-04-09	MD	
			JA, AT, MW	

DRAINAGE PLAN

C101

Scale



Scale In Feet  
20' 10' 0' 20' 40'

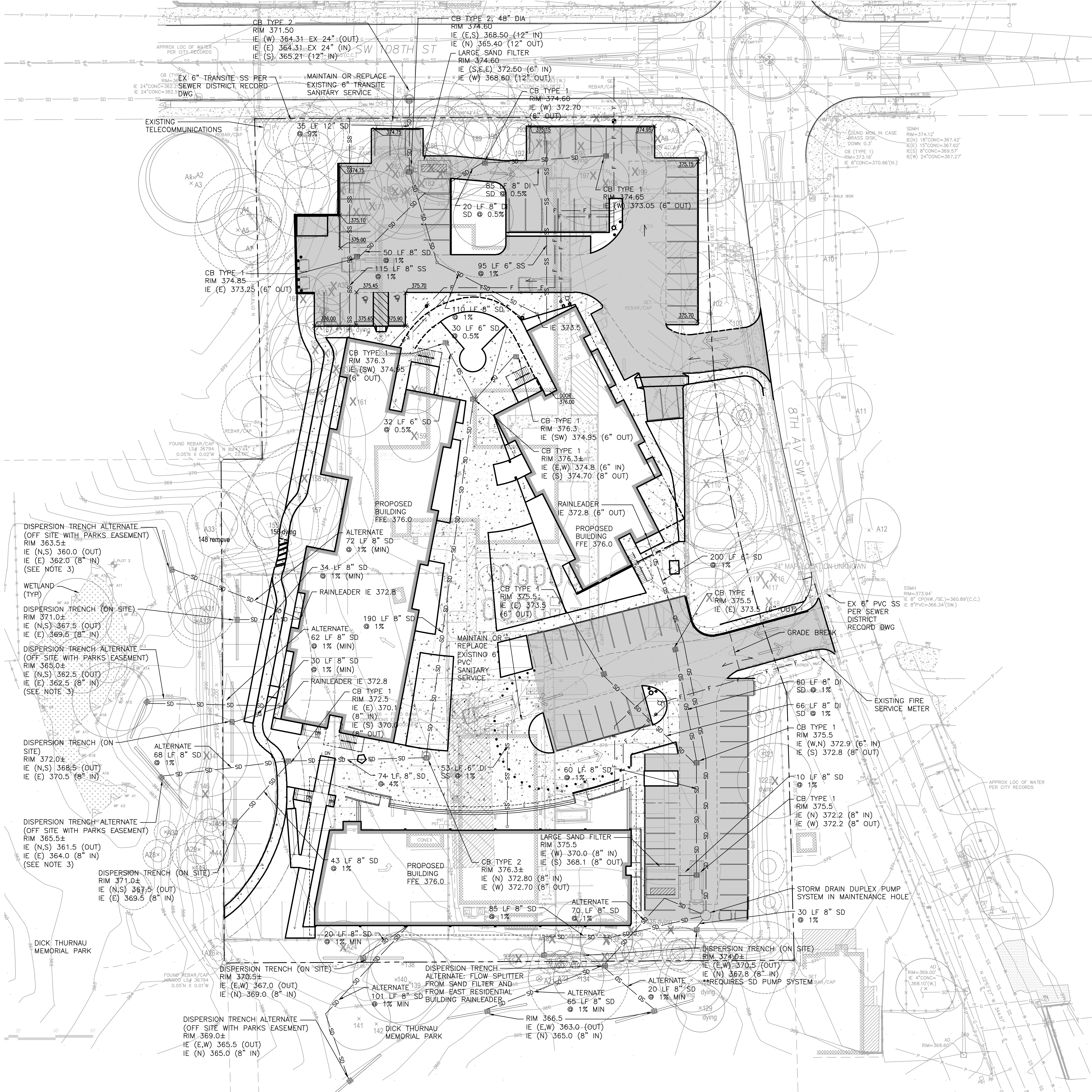
LEGEND

- PROPERTY LINE
- PROPOSED BUILDING
- 193 PROTECT EXISTING TREE TO REMAIN - CRITICAL ROOT ZONE TREE TAGGED AND ASSESSED BY ARBORIST
- A4 PROTECT EXISTING TREE TO REMAIN - CRITICAL ROOT ZONE TREE SHOWN ON SURVEY - NOT TAGGED BY ARBORIST
- X188 EXISTING TREE TO BE REMOVED OR HAS BEEN REMOVED (SEE SITE PREPARATION SHEET)
- SD---SD--- STORM DRAIN LINE
- DISPERSION TRENCH TYP 50 LF
- o STORM DRAIN CLEANOUT
- CATCH BASIN, TYPE 1
- CATCH BASIN, TYPE 2
- FLOW CONTROL STRUCTURE
- SD---DOWNSPOUT
- WQ WATER QUALITY VAULT
- SS---SS--- SANITARY SEWER LINE
- F---F--- FIRE LINE
- o FIRE HYDRANT
- o FIRE DEPARTMENT CONNECTION
- FIRE SERVICE METER
- o POST INDICATOR VALVE
- xxx.xx SPOT ELEVATION
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT

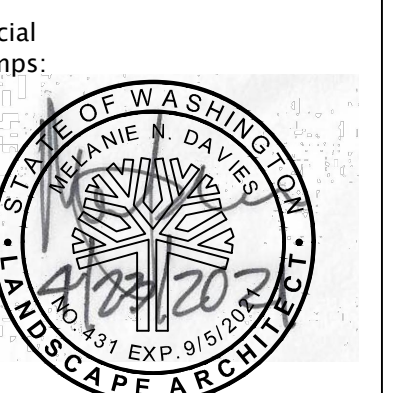
NOTES

- ALL DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH PERMIT CONDITIONS, THE KING COUNTY CODE (KCC), ROAD STANDARDS (KCRS), WASHINGTON STATE DOT (WSDOT) STANDARD SPECIFICATIONS AND THE CONDITIONS OF PRELIMINARY APPROVAL IT SHALL BE THE SOLE RESPONSIBILITY OF THE APPLICANT AND THE PROFESSIONAL CIVIL ENGINEER TO CORRECT ANY ERROR, OMISSION, OR VARIATION FROM THE ABOVE REQUIREMENTS FOUND IN THESE PLANS. ALL CORRECTIONS SHALL BE AT NO ADDITIONAL COST OR LIABILITY TO KING COUNTY.
- OWNER IS WORKING WITH KC PARKS TO COORDINATE OFF-SITE IMPROVEMENTS WITHIN DICK THURNAU MEMORIAL PARK. PREFERRED LOCATION OF DISPERSION TRENCHES IS WITHIN PARK TO NOT DISPERSE AT TOP OF STEEP SLOPE OR REQUIRE STORM RUNOFF TO BE PUMPED. IF AGREEMENT IS NOT REACHED, THEN STORMWATER WILL BE CONVEYED TO ON-SITE DISPERSION TRENCHES.
- DISPERSION TRENCHES ARE NOT SET 50 LF APART ON WEST SIDE OF PROJECT AREA TO MAINTAIN EXISTING FLOW TO WETLAND.

CONDITIONAL USE PERMIT  
NOT FOR CONSTRUCTION



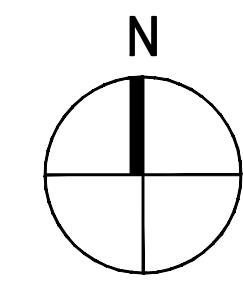
Project No. 22-2021 - 10821 8th Ave SW  
 Date: 04/09/2021  
 File: A:\10821 8th Ave SW\10821 8th Ave SW\10821 8th Ave SW\10821 8th Ave SW.dwg



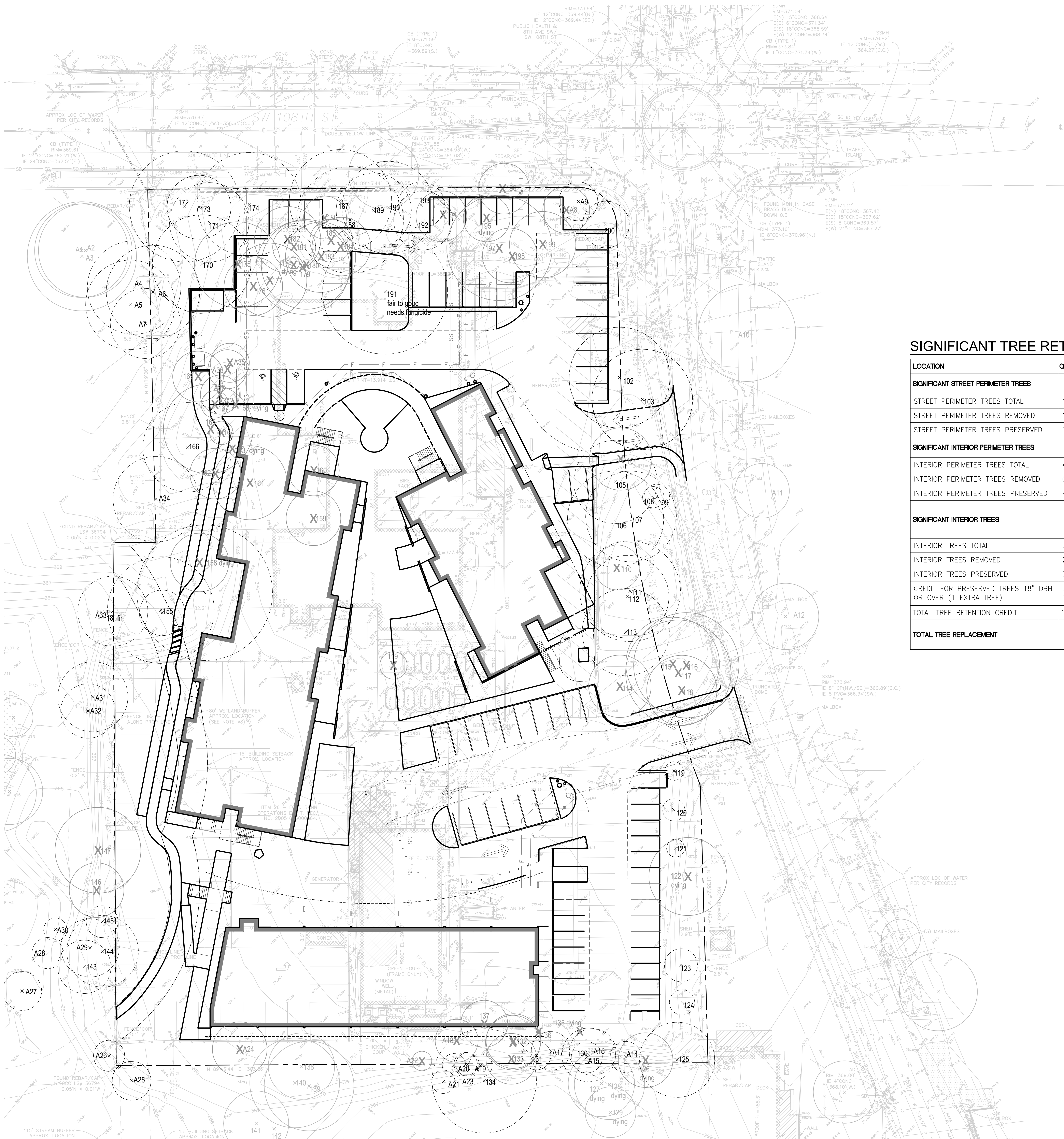
**White Center Community HUB**  
10821 8th Ave SW Seattle, WA 98146

REVISIONS	NO.	DATE	DESCRIPTION
	2001	2021-04-09	CUP
			MD
			JA, AT, MW
			BM

**TREE PROTECTION PLAN**  
**L101**  
Scale AS NOTED



Scale In Feet  
20' 10' 0' 20' 40'



**SIGNIFICANT TREE RETENTION TABLE (PER KC 16.82.146)**

LOCATION	QTY	RETAINMENT REQUIREMENTS	REPLACEMENT REQUIREMENTS	REPLACEMENT QTY
<b>SIGNIFICANT STREET PERIMETER TREES</b>		75% OF TOTAL QTY OF TREES	NONE	NONE
STREET PERIMETER TREES TOTAL	14			
STREET PERIMETER TREES REMOVED	1			
STREET PERIMETER TREES PRESERVED	13			
<b>SIGNIFICANT INTERIOR PERIMETER TREES</b>		100% OF TOTAL QTY OF TREE	NONE	NONE
INTERIOR PERIMETER TREES TOTAL	4			
INTERIOR PERIMETER TREES REMOVED	0			
INTERIOR PERIMETER TREES PRESERVED	4			
<b>SIGNIFICANT INTERIOR TREES</b>		TEN TREES PER ACRE (2.61) OR 5% OF TREES WHICH EVER IS GREATER	28 TREES MINUS TREES PRESERVED + CREDIT IF APPLICABLE	ADDITIONAL TREES REQUIRED X 12" = REQUIRED ADDITIONAL TOTAL DIAMETER IN INCHES REPLACEMENT TREES
INTERIOR TREES TOTAL	32			
INTERIOR TREES REMOVED	25			
INTERIOR TREES PRESERVED	7			
CREDIT FOR PRESERVED TREES 18" DBH OR OVER (1 EXTRA TREE)	7			
TOTAL TREE RETENTION CREDIT	14			
<b>TOTAL TREE REPLACEMENT</b>		28 TREES	14X12 INCHES = 168 INCHES	168 INCHES / 2 INCHES TREE = 84 TREES

**LEGEND**

- EXISTING TREE TO REMAIN- CRITICAL ROOT ZONE TREE TAGGED AND ASSESSED BY ARBORIST
- EXISTING TREE TO REMAIN - CRITICAL ROOT ZONE TREE SHOWN ON SURVEY- NOT TAGGED BY ARBORIST
- EXISTING TREE TO BE REMOVED OR HAS BEEN REMOVED

**NOTES**

1. SEE EXISTING TREE SCHEDULES ON SHEETS L101.1- L101.4 TREES RATED A RISK BY ARBORIST HAVE BEEN REMOVED AND DO NOT COUNT AS SIGNIFICANT TREES. SEE EXISTING TREE SCHEDULES FOR TREES RISK RATING.
2. TREE CRITICAL ROOT ZONES ARE BASED UPON TREE DIAMETER, FUTURE ASSESSMENT AND PRESERVATION GUIDELINE WILL BE PROVIDED BY ARBORIST.
3. TREE DESIGNATED WITH A# ARE BASED UPON SURVEY INFORMATION AND HAVE NOT BEEN ASSESSED BY ARBORIST.



Project: Apr 22, 2021 - 4:02:30pm By: amw/mw  
 File: C:\Users\jenniferm@skidmore.com\Documents\10821 8th Ave SW\10821 8th Ave SW - Tree Protection Plan\Tree Protection Layout - L101

EXISTING TREE SCHEDULE (PER ARBORIST REPORT\*\*)

TREE	SPECIES	SPECIES (BOTANICAL)	DBH (MULTI-TRUNK CALC)	SIGNIFICANT*	DRIP LINE RADIUS (FT)	CRITICAL ROOT ZONE (FT)	VIGOR	STRUCTURE	RISK RATING	PRESERVATION VALUE	PRESERVE /REMOVE	LOCATION	NOTES
101	DOUGLAS FIR	PSEUDOTSUGA MENZIESII	5.1, 4.2 (6.61)		6.5	6.6068146 6366357	FAIR TO GOOD	FAIR	LOW	MEDIUM		?	
102	PACIFIC MADRONE	ARBUTUS MENZIESII	25.9, (25.9)	X	24.5	25.9	FAIR	FAIR	MEDIUM	MEDIUM	PRESERVE?	ROW	
103	WESTERN RED CEDAR	THUJA PLICATA	25.8, (25.8)	X	16	25.8	FAIR	FAIR	MEDIUM	MEDIUM	REMOVE	ROW	
104	PACIFIC MADRONE	ARBUTUS MENZIESII	23.4, (23.4)		16	23.4	POOR	POOR TO FAIR	HIGH	RISK	HAS BEEN REMOVED		
105	DOUGLAS FIR	PSEUDOTSUGA MENZIESII	21.4, (21.4)	X	14	21.4	FAIR	FAIR TO GOOD	MEDIUM	MEDIUM	PRESERVE	STREET PERIMETER	
106	DOUGLAS FIR	PSEUDOTSUGA MENZIESII	24.7, (24.7)	X	15.5	24.7	FAIR	FAIR TO GOOD	MEDIUM	MEDIUM	PRESERVE	ROW	
107	DOUGLAS FIR	PSEUDOTSUGA MENZIESII	23.3, (23.3)	X	14	23.3	FAIR	FAIR TO GOOD	MEDIUM	MEDIUM	PRESERVE	STREET PERIMETER	
108	DOUGLAS FIR	PSEUDOTSUGA MENZIESII	5.5, (5.5)	X	11.3	5.5	FAIR TO GOOD	FAIR TO GOOD	LOW	MEDIUM	PRESERVE	ROW	
109	DOUGLAS FIR	PSEUDOTSUGA MENZIESII	6.6, (6.6)	X	10.7	6.6	FAIR TO GOOD	FAIR TO GOOD	LOW	LOW	PRESERVE	ROW	
110	PACIFIC MADRONE	ARBUTUS MENZIESII	12.1, 11.4 (16.62)	X	13	16.624379 6876756	POOR TO FAIR	FAIR	MEDIUM	RISK	HAS BEEN REMOVED		
111	PACIFIC MADRONE	ARBUTUS MENZIESII	17.5, 13.7, 13.2 (25.85)	X		25.849177 9366385	FAIR	FAIR	LOW	MEDIUM	PRESERVE	STREET PERIMETER	
112	PACIFIC MADRONE	ARBUTUS MENZIESII	15.9, 14.1 (21.25)	X	13.5	21.251352 8981098	FAIR	FAIR	MEDIUM	MEDIUM	PRESERVE	STREET PERIMETER	
113	DOUGLAS FIR	PSEUDOTSUGA MENZIESII	22.4, (22.4)	X	17	22.4	FAIR	FAIR	MEDIUM	MEDIUM	PRESERVE	INTERIOR	
114	DOUGLAS FIR	PSEUDOTSUGA MENZIESII	20.8, (20.8)	X	16	20.8	FAIR	MEDIUM	MEDIUM	MEDIUM	REMOVE	INTERIOR	
115	PACIFIC MADRONE	ARBUTUS MENZIESII	29.5, (29.5)		24	29.5	POOR	POOR	HIGH	RISK	HAS BEEN REMOVED		
116	PACIFIC MADRONE	ARBUTUS MENZIESII	32.7, (32.7)		27	32.7	POOR	POOR	HIGH	RISK	HAS BEEN REMOVED		
117	PACIFIC MADRONE	ARBUTUS MENZIESII	12.8, (12.8)		27	12.8	DYING/DEAD	POOR	HIGH	RISK	HAS BEEN REMOVED		
118	PACIFIC MADRONE	ARBUTUS MENZIESII	10, (10)		18	10	DYING/DEAD	POOR	HIGH	RISK	HAS BEEN REMOVED		
119	GREEN ASH	FRAXINUS PENNSYLVANICA	4.8, (4.8)		9	4.8	FAIR TO GOOD	FAIR	LOW	MEDIUM	PRESERVE	PERIMETER	
120	GREEN ASH	FRAXINUS PENNSYLVANICA	5.7, (5.7)		10	5.7	FAIR TO GOOD	FAIR	LOW	MEDIUM	PRESERVE	PERIMETER	
121	GREEN ASH	FRAXINUS PENNSYLVANICA	4.6, (4.6)		7	4.6	FAIR TO GOOD	FAIR	LOW	MEDIUM	PRESERVE	PERIMETER	
122	PACIFIC MADRONE	ARBUTUS MENZIESII	14.8, (14.8)		20	14.8	DYING/DEAD	POOR	HIGH	RISK	REMOVE	PERIMETER	
123	GREEN ASH	FRAXINUS PENNSYLVANICA	8.5, (8.5)	X	12	8.5	FAIR TO GOOD	FAIR TO GOOD	LOW	MEDIUM	PRESERVE	PERIMETER	
124	GREEN ASH	FRAXINUS PENNSYLVANICA	6.5, (6.5)		11	6.5	FAIR TO GOOD	FAIR TO GOOD	LOW	LOW	PRESERVE	PERIMETER	
125	BLACK LOCUST	ROBINIA PSEUDOACACIA	19.3, (19.3)	X	13	19.3	FAIR	FAIR	LOW	LOW	PRESERVE	PERIMETER	
126	PACIFIC MADRONE	ARBUTUS MENZIESII	17.8, 9 (19.95)		14	19.945926 9025032	DYING/DEAD	POOR TO FAIR	HIGH	RISK	REMOVE	PARK	
127	PACIFIC MADRONE	ARBUTUS MENZIESII	15.3, (15.3)		18	15.3	DYING/DEAD	POOR TO FAIR	HIGH	NONE	PRESERVE	PARK	
128	PACIFIC MADRONE	ARBUTUS MENZIESII	14, (14)		17	14	DYING/DEAD	POOR TO FAIR	HIGH	NONE	PRESERVE	PARK	
129	PACIFIC MADRONE	ARBUTUS MENZIESII	14, (14)		13	14	DYING/DEAD	FAIR TO GOOD	HIGH	LOW	PRESERVE	PARK	
130	BLACK LOCUST	ROBINIA PSEUDOACACIA	13.8, (13.8)	X	14	13.8	FAIR	FAIR	LOW	MEDIUM	PRESERVE	PERIMETER	
131	BLACK LOCUST	ROBINIA PSEUDOACACIA	7.4, (7.4)		11	7.4	FAIR	FAIR	LOW	LOW	REMOVE	PERIMETER	
132	EUROPEAN MOUNTAIN ASH	SORBUS AUCUPARIA	5.5, 4.7, 6.8 (9.93)		14	9.9287461 4440313	FAIR TO GOOD	POOR TO FAIR	MEDIUM	LOW	REMOVE	INTERIOR	
133	BLACK LOCUST	ROBINIA PSEUDOACACIA	12.3, (12.3)	X	13	12.3	FAIR	FAIR	LOW	MEDIUM	REMOVE	PERIMETER	
134	DOUGLAS FIR	PSEUDOTSUGA MENZIESII	26.8, (26.8)	X	21	26.8	FAIR TO GOOD	FAIR	MEDIUM	MEDIUM	PRESERVE	PARK	
135	SCOULE'S WILLOW	SALIX SCOULEIANA	12.1, (12.1)		16	12.1	FAIR	POOR	HIGH	RISK	REMOVE	INTERIOR	
137	GREEN ASH	FRAXINUS PENNSYLVANICA	5.9, (5.9)		12	5.9	FAIR TO GOOD	FAIR	LOW	LOW	REMOVE	INTERIOR	
138	EUROPEAN BIRD CHERRY	PRUNUS PADUS	8.7, (8.7)		17	8.7	FAIR	FAIR	LOW	LOW	PRESERVE	PARK	

\* KING COUNTY SIGNIFICANT TREES: PER TITLE 21A.06.1167 "AN EXISTING HEALTHY TREE THAT IS NOT A HAZARD" WITH A MINIMUM DIAMETER OF EIGHT (8) INCHES FOR EVERGREENS AND TWELVE (12) INCHES FOR DECIDUOUS TREES  
 \*\* EXISTING TREE ASSESSMENT BY URBAN FORESTRY SERVICES, INC, DATED MAY 11, 2018

EXISTING TREE SCHEDULE (PER ARBORIST REPORT\*\*)

TREE	SPECIES	SPECIES (BOTANICAL)	DBH (MULTI-TRUNK CALC)	SIGNIFICANT*	DRIP LINE RADIUS (FT)	CRITICAL ROOT ZONE (FT)	VIGOR	STRUCTURE	RISK RATING	PRESERVATION VALUE	PRESERVE /REMOVE	LOCATION	NOTES
139	RED ALDER	ALNUS RUBRA	16.6, 7.5 (18.22)		23	18.215652 6097749	FAIR	FAIR	MEDIUM	MEDIUM	PRESERVE	PARK	
140	RED ALDER	ALNUS RUBRA	17.3, (17.3)		23	17.3	POOR TO FAIR	POOR TO FAIR	MEDIUM	NONE	PRESERVE	PARK	
141	SCOULE'S WILLOW	SALIX SCOULEIANA	16.7, (16.7)	X	14	16.7	FAIR	POOR	HIGH	NONE	REMOVE		THIS TREE LOOKS LIKE IT IS WHERE A24 IS SHOWN ON PLAN. #141 IS SHOWN ON SURVEY NEXT TO #142
#142											TBD	PARK	
143	PACIFIC MADRONE	ARBUTUS MENZIESII	13.7, (13.7)		13	13.7	FAIR	FAIR TO GOOD	LOW	LOW	PRESERVE	PARK	
144	RED ALDER	ALNUS RUBRA	18.4, (18.4)		21	18.4	FAIR	FAIR	MEDIUM	MEDIUM	PRESERVE	PARK	
145	BITTER CHERRY	PRUNUS EMARGINATA	8.2, (8.2)		10	8.2	FAIR	POOR TO FAIR	MEDIUM	LOW	PRESERVE	PARK	
146	RED ALDER	ALNUS RUBRA	12.3, (12.3)		14	12.3	POOR TO FAIR	POOR	HIGH	NONE	PRESERVE	PARK	
147	RED ALDER	ALNUS RUBRA	18.9, 11.3 (22.02)			22.020445 0454572	POOR TO FAIR	POOR TO FAIR	HIGH	NONE	PRESERVE	PARK	
148	DOUGLAS FIR	PSEUDOTSUGA MENZIESII	18, (18)		17	18	FAIR	POOR	HIGH	LOW	PRESERVE	PARK	
149	PACIFIC MADRONE	ARBUTUS MENZIESII	19, (19)	X	25	19	FAIR	FAIR TO GOOD	LOW	MEDIUM	PRESERVE	PARK	
150	PACIFIC MADRONE	ARBUTUS MENZIESII	23, (23)	X	15	23	FAIR	FAIR TO GOOD	LOW	LOW	PRESERVE	PARK	
151	PACIFIC MADRONE	ARBUTUS MENZIESII	14, 9 (16.64)	X	19	16.643316 9770932	FAIR	FAIR	LOW	MEDIUM	PRESERVE	PARK	
152	WESTERN RED CEDAR	THUJA PLICATA	18.3, (18.3)	X	13	18.3	FAIR	FAIR TO GOOD	LOW	MEDIUM	PRESERVE	PARK	
153	WESTERN RED CEDAR	THUJA PLICATA	24.7, (24.7)	X	18	24.7	FAIR	FAIR TO GOOD	LOW	MEDIUM	PRESERVE	PARK	
155	WESTERN RED CEDAR	THUJA PLICATA	27.4, (27.4)	X	17	27.4	FAIR TO GOOD	FAIR	MEDIUM	MEDIUM	PRESERVE	INTERIOR	
156	PACIFIC MADRONE	ARBUTUS MENZIESII	11.7, (11.7)		15	11.7	DYING/DEAD	POOR	HIGH	RISK	REMOVE	INTERIOR	
157	DOUGLAS FIR	PSEUDOTSUGA MENZIESII	34.8, (34.8)	X	23	34.8	FAIR TO GOOD	FAIR	MEDIUM	MEDIUM	PRESERVE	INTERIOR	
158	PACIFIC MADRONE	ARBUTUS MENZIESII	21, (21)		15	21	DYING/DEAD	POOR	HIGH	RISK	REMOVE	INTERIOR	
159	DOGWOOD	CORNUS SPECIES	10.7, 14.2 (17.78)	X	14	17.780044 9943188	FAIR TO GOOD	FAIR	LOW	MEDIUM	REMOVE	INTERIOR	
160	ASH	FRAXINUS SPECIES	13.8, 10.4 (17.28)	X	13	17.280046 2962343	FAIR TO GOOD	FAIR	LOW	MEDIUM	REMOVE	INTERIOR	
161	DOUGLAS FIR	PSEUDOTSUGA MENZIESII	31.5, (31.5)	X	19	31.5	FAIR	FAIR	MEDIUM	MEDIUM	REMOVE	INTERIOR	
162	WESTERN RED CEDAR	THUJA PLICATA	22.3, (22.3)	X	13	22.3	FAIR	FAIR	LOW	MEDIUM	REMOVE	INTERIOR	
163	PACIFIC MADRONE	ARBUTUS MENZIESII	19.2, 15.8, 9.8 (26.73)			26.726765 6105261	DYING/DEAD	POOR TO FAIR	MEDIUM	RISK	REMOVE	INTERIOR	
164	BITTER CHERRY	PRUNUS EMARGINATA	6.7, (6.7)		6	6.7	DYING/DEAD	POOR TO FAIR	MEDIUM	RISK	REMOVE	INTERIOR	
165	PACIFIC MADRONE	ARBUTUS MENZIESII	9.1, 14.7 (17.29)		23	17.288724 6493199	DYING/DEAD	POOR	HIGH	RISK	REMOVE	INTERIOR	
166	PACIFIC MADRONE	ARBUTUS MENZIESII	17.4, 11.7 (20.97)	X	18	20.967832 5060079	FAIR	FAIR	LOW	MEDIUM	PRESERVE	INTERIOR	
167	DOUGLAS FIR	PSEUDOTSUGA MENZIESII	12.3, (12.3)	X	7	12.3	FAIR	POOR TO FAIR	LOW	MEDIUM	REMOVE	INTERIOR	
168	PACIFIC MADRONE	ARBUTUS MENZIESII	16.8, (16.8)			16.8	DYING/DEAD	POOR TO FAIR	MEDIUM	RISK	REMOVE	INTERIOR	
169	PACIFIC MADRONE	ARBUTUS MENZIESII	21.7, (21.7)	X	13	21.7	FAIR	FAIR	LOW	MEDIUM	REMOVE	INTERIOR	
170	DOUGLAS FIR	PSEUDOTSUGA MENZIESII	25.3, (25.3)	X	13	25.3	FAIR TO GOOD	FAIR	MEDIUM	MEDIUM	PRESERVE	INTERIOR	

NOTE:

- SEE TREE PROTECTION PLAN, SHEET L101

SUNDBERG KENNEDY LY-AU YOUNG ARCHITECTS

1501 E MADISON, SUITE 205 SEATTLE WA 98122-4465 206.322.1130



615 SECOND AVE. SUITE 300 SEATTLE, WA 98104 TEL 206.223.0320 www.mig.com

Official Stamps:



White Center Community HUB 10821 8th Ave SW SEATTLE, WA 98146

REVISIONS	NO.	DATE	DESCRIPTION
			CUP

Project number	2001	Project Manager	J.A.T./M.V.
Date	2021-04-09	Drawn by	J.A.T./M.V.
Checked by	BM		

TREE PROTECTION SCHEDULE

L101.1 Scale AS NOTED



EXISTING TREE SCHEDULE (PER ARBORIST REPORT\*\*)

TREE	SPECIES	SPECIES (BOTANICAL)	DBH (MULTI-TRUNK CALC)	SIGNIFICANT*	DRIP LINE RADIUS (FT)	CRITICAL ROOT ZONE (FT)	VGOR	STRUC-TURE	RISK RATING	PRESE-RVATION VALUE	PRESERVE /REMOVE	LOCATION	NOTES
171	DOUGLAS FIR	PSEUDOTSUGA MENZIESII	20.4, (20.4)	X	16	20.4	FAIR TO GOOD	FAIR TO GOOD	MEDIUM	MEDIUM	PRESERVE	INTERIOR	
172	DOUGLAS FIR	PSEUDOTSUGA MENZIESII	28.5, (28.5)	X	17	28.5	FAIR TO GOOD	FAIR	MEDIUM	MEDIUM	PRESERVE	STREET PERIMETER	
173	PACIFIC DOGWOOD	CORNUS NUTTALLII	13.1, 9.9 (16.42)	X	15	16.420109 6220458	POOR TO FAIR	POOR TO FAIR	MEDIUM	NONE	PRESERVE	STREET PERIMETER	
174	DOUGLAS FIR	PSEUDOTSUGA MENZIESII	26.7, (26.7)	X	14	26.7	FAIR	FAIR	MEDIUM	MEDIUM	PRESERVE	STREET PERIMETER	
175	PACIFIC MADRONE	ARBUTUS MENZIESII	16.7, 15.6 (22.85)	X	22	22.852789 7640529	FAIR	FAIR TO GOOD	LOW	MEDIUM	REMOVE	INTERIOR	
176	PACIFIC MADRONE	ARBUTUS MENZIESII	16.3, (16.3)	X	15	16.3	FAIR TO GOOD	FAIR TO GOOD	LOW	MEDIUM	REMOVE	INTERIOR	
177	PACIFIC MADRONE	ARBUTUS MENZIESII	20.3, (20.3)	X	19	20.3	POOR TO FAIR	POOR TO FAIR	HIGH	NONE	REMOVE	INTERIOR	
178	PACIFIC MADRONE	ARBUTUS MENZIESII	7.4, (7.4)		3	7.4	DYING/ DEAD	POOR	HIGH	NONE	REMOVE	INTERIOR	
179	PACIFIC MADRONE	ARBUTUS MENZIESII	16.3, (16.3)	X	24	16.3	FAIR TO GOOD	FAIR TO GOOD	LOW	MEDIUM	REMOVE	INTERIOR	
180	PACIFIC MADRONE	ARBUTUS MENZIESII	10.6, (10.6)	X	23	10.6	FAIR	FAIR	MEDIUM	LOW	REMOVE	INTERIOR	
181	DOUGLAS FIR	PSEUDOTSUGA MENZIESII	13.2, (13.2)	X	11	13.2	FAIR	FAIR	MEDIUM	MEDIUM	REMOVE	INTERIOR	
182	PACIFIC MADRONE	ARBUTUS MENZIESII	12.6, (12.6)	X	17	12.6	FAIR	POOR TO FAIR	HIGH	NONE	REMOVE	INTERIOR	
183	PACIFIC MADRONE	ARBUTUS MENZIESII	12.3, (12.3)	X	18	12.3	FAIR	FAIR TO GOOD	LOW	MEDIUM	REMOVE	INTERIOR	
184	DOUGLAS FIR	PSEUDOTSUGA MENZIESII	16.9, (16.9)	X	15	16.9	FAIR TO GOOD	FAIR	MEDIUM	MEDIUM	REMOVE	INTERIOR	
185	DOUGLAS FIR	PSEUDOTSUGA MENZIESII	7.6, (7.6)		11	7.6	FAIR	POOR TO FAIR	LOW	LOW	REMOVE	INTERIOR	
186	DOUGLAS FIR	PSEUDOTSUGA MENZIESII	9.8, (9.8)	X	11	9.8	FAIR	POOR TO FAIR	LOW	LOW	REMOVE	INTERIOR	
187	DOUGLAS FIR	PSEUDOTSUGA MENZIESII	26.3, (26.3)	X	17	26.3	FAIR TO GOOD	FAIR TO GOOD	MEDIUM	MEDIUM	PRESERVE	PERIMETER	
188	DOUGLAS FIR	PSEUDOTSUGA MENZIESII	27.4, (27.4)	X	18	27.4	FAIR	FAIR	MEDIUM	MEDIUM	REMOVE	INTERIOR	
189	DOUGLAS FIR	PSEUDOTSUGA MENZIESII	19.3, (19.3)	X	14	19.3	FAIR TO GOOD	FAIR	MEDIUM	MEDIUM	PRESERVE		
190	DOUGLAS FIR	PSEUDOTSUGA MENZIESII	23.7, (23.7)	X	21	23.7	FAIR TO GOOD	FAIR	MEDIUM	MEDIUM	PRESERVE	PERIMETER	
191	PACIFIC MADRONE	ARBUTUS MENZIESII	32.1, (32.1)	X	23	32.1	FAIR	FAIR TO GOOD	LOW	MEDIUM	PRESERVE	INTERIOR	
192	WESTERN RED CEDAR	THUJA PLICATA	15.1, (15.1)	X	15	15.1	FAIR	FAIR TO GOOD	LOW	MEDIUM	REMOVE	INTERIOR	
193	ORGEON ASH	FRAXINUS LATIFOLIA	11.9, (11.9)	X	16	11.9	FAIR TO GOOD	FAIR	LOW	LOW	REMOVE	PERIMETER	
194	WESTERN RED CEDAR	THUJA PLICATA	19.8, (19.8)	X	13	19.8	FAIR TO GOOD	FAIR TO GOOD	LOW	MEDIUM	REMOVE	INTERIOR	
195	DOUGLAS FIR	PSEUDOTSUGA MENZIESII	19.3, (19.3)	X	12	19.3	FAIR	POOR TO FAIR	HIGH	NONE	REMOVE	INTERIOR	
196	QUAKING ASPEN	POPULUS TREMULOIDES	12.4, (12.4)	X	13	12.4	FAIR	POOR TO FAIR	MEDIUM	LOW	REMOVE	PERIMETER	
197	PACIFIC MADRONE	ARBUTUS MENZIESII	27.4, (27.4)	X	27	27.4	FAIR	FAIR	LOW	MEDIUM	REMOVE	INTERIOR	
198	PACIFIC MADRONE	ARBUTUS MENZIESII	19.4, (19.4)	X	14	19.4	FAIR	FAIR	LOW	MEDIUM	REMOVE	INTERIOR	
199	DOUGLAS FIR	PSEUDOTSUGA MENZIESII	19.5, (19.5)	X	17	19.5	FAIR TO GOOD	FAIR	MEDIUM	MEDIUM	REMOVE	INTERIOR	
200	WESTERN WHITE PINE	PINUS MONTICOLA	10.2, 6.3 (11.99)	X		11.988744 7216129	FAIR	FAIR TO GOOD	LOW	MEDIUM	REMOVE	PERIMETER	
201	QUAKING ASPEN	POPULUS TREMULOIDES	10.2, (10.2)		11	10.2	FAIR TO GOOD	FAIR	LOW	MEDIUM	PRESERVE?	TBD	

\* KING COUNTY SIGNIFICANT TREES: PER TITLE 21A.06.1167 "AN EXISTING HEALTHY TREE THAT IS NOT A HAZARD WITH A MINIMUM DIAMETER OF EIGHT (8) INCHES FOR EVERGREENS AND TWELVE (12) INCHES FOR DECIDUOUS TREES  
 \*\* EXISTING TREE ASSESSMENT BY URBAN FORESTRY SERVICES, INC, DATED MAY 11, 2018

NOTE:  
 1. SEE TREE PROTECTION PLAN, SHEET L101

EXISTING TREE SCHEDULE (PER SURVEY)

TREE	SPECIES	SPECIES (BOTANICAL)	DBH PER SURVEY (MULTI-TRUNK CALC)	SIGNIFICANT	DRIP LINE RADIUS (FT)	CRITICAL ROOT ZONE (FT)	VGOR	STRUCTURE	RISK RATING	PRESERVA TION VALUE	DEFECTS AND COMMENTS	RECOMME NDATIONS	PRESERVE /REMOVE	LOCATION	NOTES
A1	TBD	TBD	16										PRESERVE	ADJ PROPERTY	
A2	TBD	TBD	14										PRESERVE	ADJ PROPERTY	
A3	TBD	TBD	19										PRESERVE	ADJ PROPERTY	
A4	TBD	TBD	24										PRESERVE	ADJ PROPERTY	
A5	TBD	TBD	23										PRESERVE	ADJ PROPERTY	
A6	TBD	TBD	23										PRESERVE	PERIMETER	
A7	TBD	TBD	18										PRESERVE	ADJ PROPERTY	
A8	TBD	TBD	8										REMOVE	INTERIOR	
A9	TBD	TBD	10	X									PRESERVE	PERIMETER	
A13	TBD	TBD	5												
A14	TBD	TBD	8										PRESERVE	PERIMETER	
A15	TBD	TBD	10										PRESERVE	PERIMETER	
A16	TBD	TBD	8										PRESERVE	PERIMETER	
A17	TBD	TBD											PRESERVE	PERIMETER	
A18	TBD	TBD	10										REMOVE	PERIMETER	
A19	TBD	TBD	8										PRESERVE	PARK	
A20	TBD	TBD	6										PRESERVE	PARK	
A21	TBD	TBD	6										PRESERVE	PARK	
A22	TBD	TBD	6										REMOVE	PERIMETER	
A23	TBD	TBD	6										PRESERVE	PARK	
A24	TBD TREE #141 ?	WILLOW?	13										REMOVE	PERIMETER	
A25	TBD	TBD	10										PRESERVE	PARK	
A26	TBD	TBD	8										PRESERVE	PARK	
A27	TBD	TBD	10										PRESERVE	PARK	
A28	TBD	TBD	8										PRESERVE	PARK	
A29	TBD	TBD	15												
A30	TBD	TBD	6										PRESERVE	PARK	
A31	TBD - ALDER?		18										PRESERVE	PARK	
A32	TBD-ALDE R?		14										PRESERVE	PARK	
A33	TBD-ALDE R?		18										PRESERVE	PARK	
A34	TBD	TBD	22											PARK	
A35	TBD	TBD	5										REMOVE	INTERIOR	
A36	TBD	TBD	5										REMOVE	INTERIOR	
A37	TBD	TBD	5										REMOVE	INTERIOR	
A38	TBD	TBD	5										REMOVE	INTERIOR	

SUNDBERG KENNEDY LY-AU YOUNG ARCHITECTS

1501 E MADISON, SUITE 205 SEATTLE WA 98122-4465 206.322.1130



615 SECOND AVE. SUITE 300 SEATTLE, WA 98104 TEL 206.223.0320 www.migcorp.com

Official Stamps:



White Center Community HUB  
 10821 8th Ave SW SEATTLE, WA 98146

REVISIONS	NO.	DATE	DESCRIPTION	CUP

Project number	2001	Project Manager	MD
Date	2021-04-09	Drawn by	JA, AT, MW
Checked by			BM

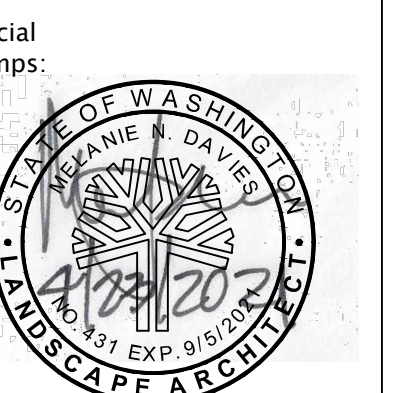
TREE PROTECTION SCHEDULE

L101.2  
 Scale AS NOTED









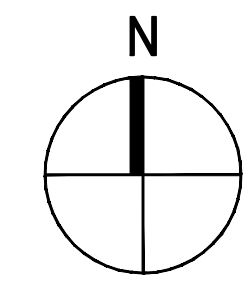
Official Stamps:  
White Center Community HUB  
10821 8th Ave SW Seattle, WA 98146

Project number: 2001  
Date: 2021-04-09  
Project Manager: MD  
Drawn by: JA, AT, MW  
Checked by: BM

REVISIONS	NO.	DATE	DESCRIPTION
			CUP

REVISIONS	NO.	DATE	DESCRIPTION
			CUP

LANDSCAPE PLAN  
**L102.3**  
Scale AS NOTED



Scale In Feet  
20' 10' 0' 20' 40'

**EXISTING TREE LEGEND**

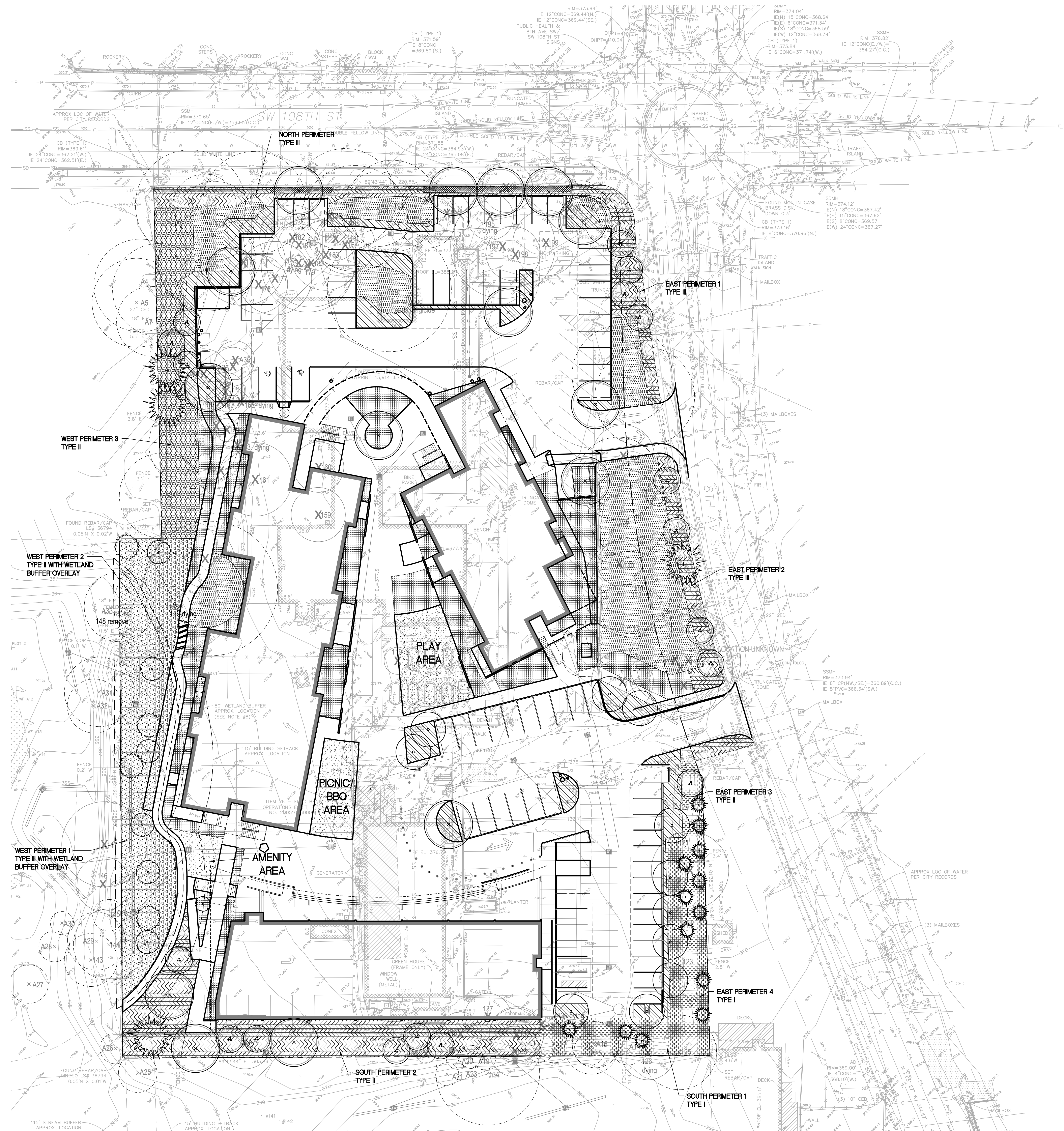
- EXISTING TREE TO REMAIN- CRITICAL ROOT ZONE TREE TAGGED AND ASSESSED BY ARBORIST
- EXISTING TREE TO REMAIN - CRITICAL ROOT ZONE TREE SHOWN ON SURVEY- NOT TAGGED BY ARBORIST
- EXISTING TREE TO BE REMOVED OR HAS BEEN REMOVED

**LANDSCAPE TYPE LEGEND**

	TYPE I - FULL SCREEN
	TYPE II - FILTERED SCREEN
	TYPE III - SEE THROUGH SCREEN
	TYPE III - HEDGE
	PARKING LOT
	INTERIOR
	WETLAND BUFFER
	PRESERVE / PROTECT EXISTING TREES AND VEGETATION - ADD MULCH AS NEEDED

**NOTES**

- SEE SHEETS L101-L101.2 FOR TREE RETENTION.
- SEE SHEET L102.1 AND L102.2 FOR LANDSCAPE REQUIREMENTS AND PLANT SCHEDULES.
- PLAN SHOWS TREES REQUIRED FOR PERIMETER AND PARKING LANDSCAPE.
- TREE RETENTION/REPLACEMENT. 84 (2" CALIPER DECIDUOUS TREES OR MIN 5 FOOT TALL EVERGREEN TREES) TREES HAVE BEEN IDENTIFIED FOR REPLACEMENT OF SIGNIFICANT TREES. THESE TREES ARE PROPOSED TO BE LOCATED WITHIN INTERIOR OF SITE. ALTERNATE LOCATION FOR SOME TREES MAY BE PARK WETLAND AREA ON WEST SIDE OF SITE.



Small vertical text at the bottom left corner, likely containing project details or contact information.



