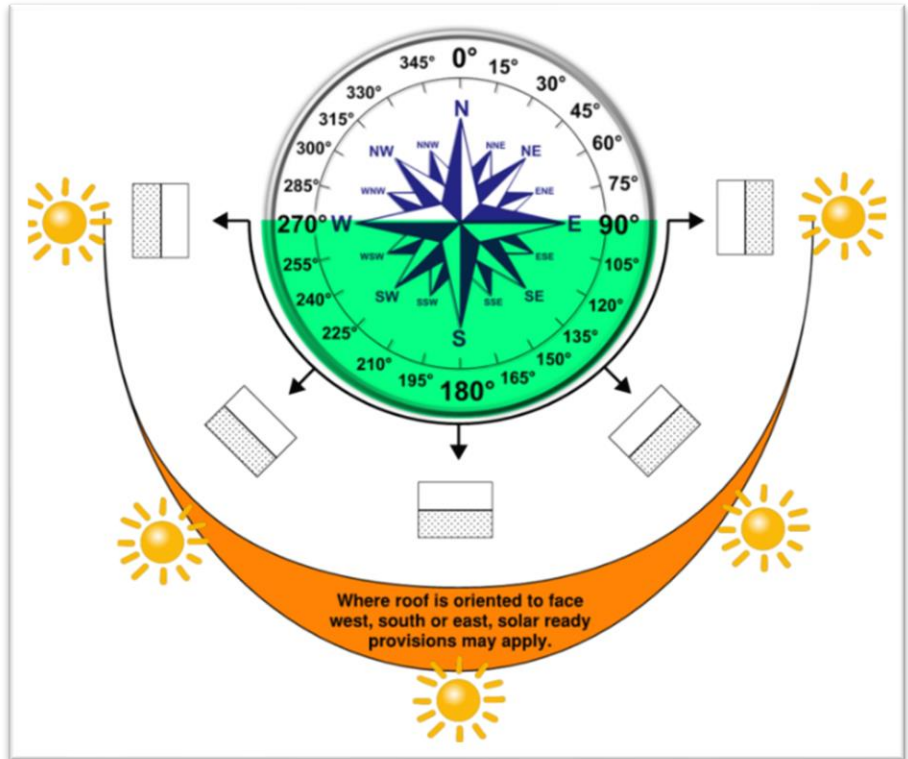


Residential Solar Ready Provisions Checklist

Beginning January 1, 2023, new single-family residences, duplexes, accessory dwelling units, and townhouses will need to be designed with **Solar Ready Provisions** unless meeting an applicability exception.

This checklist only applies to building permit applications accepted as complete on or after January 1, 2023 for new dwelling unit construction. It does not apply to remodels, additions, or roof replacements.



Applicability Checklist – Part One

Does the proposed home (including all attached structures) have at least 600 square feet of roof area that is oriented toward the west, south, or east (between 90° and 270° of true north)? *This may include areas less than 600 square feet when aggregated area is at least 600 square feet.*

- Yes
 No

If the answer to the question above is No, you do not need to complete the remainder of this checklist.

Applicability Checklist – Part Two

Is a permanently installed on-site renewable energy system proposed?

- Yes
 No

Will all areas of roof that are oriented toward the west, south, or east be in full or partial shade for more than 70% of daylight hours annually? *Note, supporting documentation may be required.*

- Yes
 No

If the answer to either question above is Yes, you do not need to complete the remainder of this checklist.

Solar Ready Provisions, continued

Solar Ready Provisions – Requirements

- Review code requirements, found within [Washington Administrative Code \(WAC\) 51-51-60106](#).
- Provide north arrow on site plan, and architectural floor and roof plans.
- Label elevation views as North, South, East, or West, as appropriate (not front, rear, or side)
- Depict and label solar ready zone (SRZ) on roof plan (and site plan or elevations as applicable)
- Ensure total SRZ is at least 300 square feet. *Note, for townhouses where each dwelling is 2,000 square feet in floor area or less, the solar ready zone may be reduced to 150 square feet in area.*
- If divided into sub areas, ensure each area of the SRZ is at least 80 square feet in area.
- Ensure each area of the SRZ is at least 5 feet in width.
- Depict and label dimensions for setbacks from ridge and access pathways. *Note, requirements can be found within [2018 International Residential Code \(IRC\) Section R324.6](#) and the [2018 International Fire Code \(IFC\) Section 1204.2.1](#).*
- Confirm there are no obstructions proposed in the SRZ. *Obstructions include, but are not limited to, vents, chimneys, and roof-mounted equipment.*
- Verify all areas of the SRZ are set back from objects on the building or site which are located south, east, or west of the zone at least a distance of two times the object's height above the nearest point on the roof surface. *Objects are permanently affixed items which include, but are not limited to, taller portions of the building itself, chimneys, antennas, trees and roof plantings.*
- If any areas of the SRZ are on a roof slope of 2:12 or less, show and label a capped roof penetration sleeve location and size on the roof plan. *Sleeve should be sized to accommodate the future photovoltaic system conduit but have an inside diameter not less than 1 ¼ inches.*
- Confirm design roof dead and live loads are labeled on the plans.
- Depict an interconnection pathway for *future* routing of conduit or plumbing from the SRZ to the electrical service panel (or service hot water system).
- The main electrical service or feeder panel must have a reserved space* to allow for the installation of a dual pole circuit breaker for future solar electric installation. *Note, this must be labeled "For Future Solar Electric" and be positioned at the opposite (load) end from the input feeder location or main circuit location.* *Required for each dwelling in multiunit buildings.
- Include plan note that a permanent certificate indicating the SRZ and other solar ready provisions, will be posted near the electrical distribution panel, water heater, or other conspicuous location.

Need help?

Customers who would like additional support with solar ready code provisions may contact:
Kim Barker (she/her/hers) at kbarker@kingcounty.gov or 206-848-0368