

11/22/2023

Residential Site Plan Template

Ref: KCC 21a.12.030
 Max. Impervious Surface Allowed _____
 Max. Bldg. Height Allowed _____
 Ref: KCC 21a.12.170
 Min. Blg. Setback From Street _____
 Min. Garage Setback From Street _____
 Min. Blg. Setback From Interior _____
 Permit Center validation:
 Zoning
 Site Review Not Applicable
 Validated Signature _____
 Login Initials _____ Date: _____

Engineering / Drainage Approval

Signature: _____
 Date: _____

Critical Areas Approval

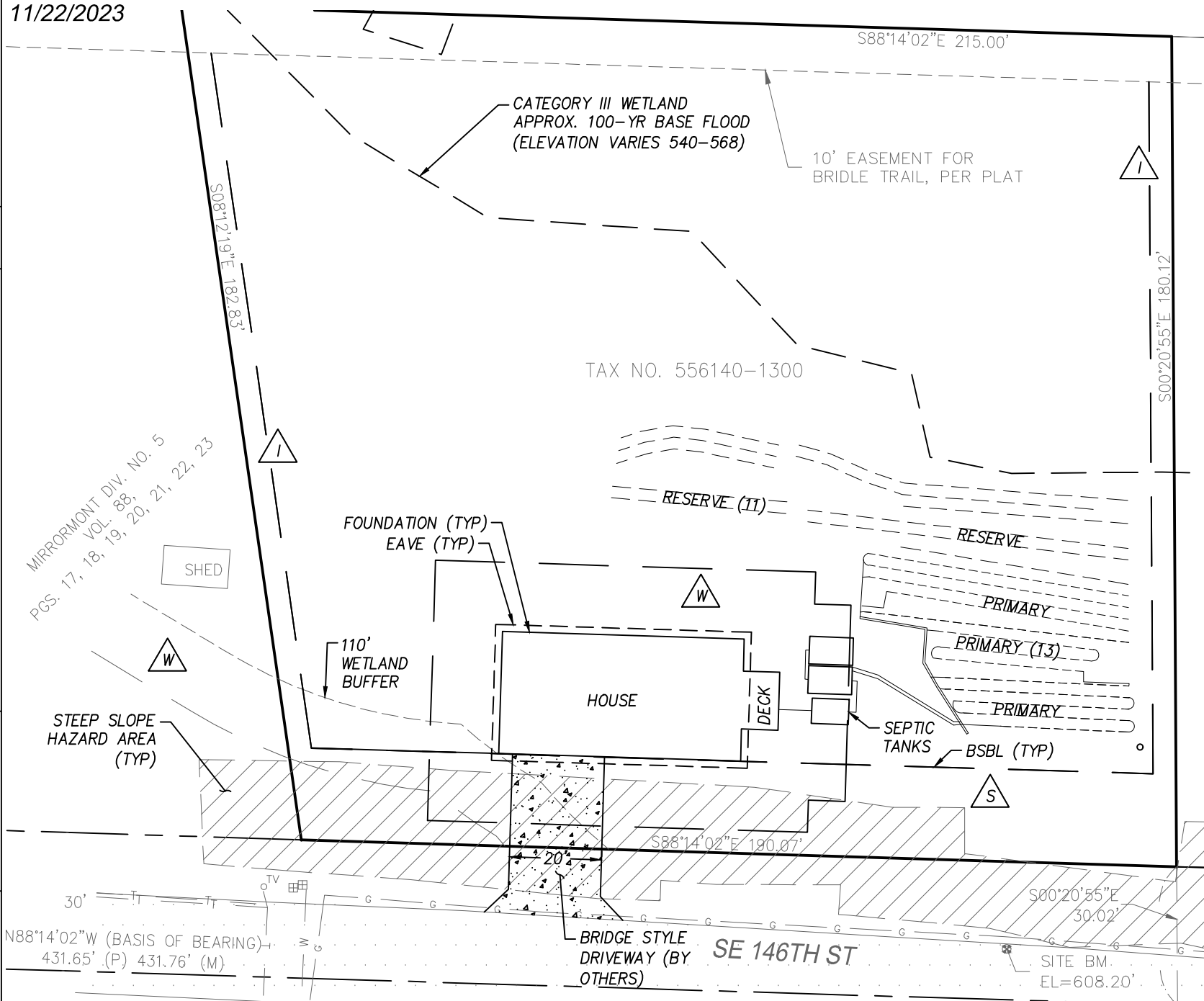
Signature: _____
 Date: _____

Clearing / Grading Approval

Signature: _____
 Date: _____

Fire Approval

Signature: _____
 Date: _____



PROJECT TEAM:

OWNER: LEV & JULIA SHABOLOV
 14205 SE 36TH ST. SUITE 100
 BELLEVUE, WA 98006
 (206) 790-9261

ENGINEER/SURVEYOR: BRIANA BENNINGTON, PE / KEVIN REESE, PLS
 ENCOMPASS ENGINEERING & SURVEYING
 165 N.E. JUNIPER STREET, SUITE 201
 ISSAQUAH, WA 98027
 (425) 392-0250

GEOTECHNICAL ENGINEER: KYLER KELLY
 EARTH SOLUTIONS NW, LLC
 15365 NE 90TH ST. SUITE 100
 REDMOND, WA 98052
 (425) 449-4704

BIOLOGIST: PETER SUPER
 EVERGREEN AQUATIC RESOURCE CONSULTANTS, LLC
 P.O. BOX 1721
 ISSAQUAH, WA 98027
 (425) 667-7166

SITE DATA:

SITE ADDRESS: 24XXX SE 146TH ST.
 ISSAQUAH, WA 98027

TAX PARCEL: 556140-1300

SITE AREA: 36,455 SF (0.84 ACRES)

ZONING: RA5

MAX. HEIGHTS: 40'

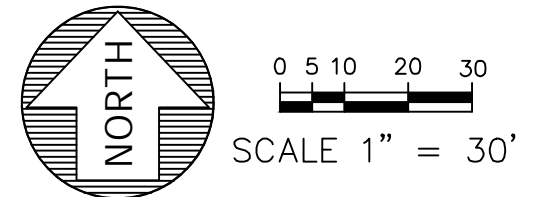
UTILITY INFORMATION:

SEWER: PRIVATE

WATER: WASHINGTON WATER SERVICE COMPANY

SHEET INDEX

NO.	TITLE
1	COVER SHEET
2	TESC PLAN
3	TESC DETAILS
4	GRADING & DRAINAGE PLAN



LEGAL DESCRIPTION:

LOT 130, MIRRORMONT DIVISION NUMBER 5, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 88 OF PLATS, PAGES 17 THROUGH 23, INCLUSIVE, IN KING COUNTY, WASHINGTON;

SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON.

BSBL DISTANCES:

- * STREET: 20'
 - * INTERIOR: 5'
 - WETLAND: 15'
- * PER KCC 214.12.030.B.9(b)

ONSITE IMPERVIOUS SURFACES

HOUSE (ROOF EAVE): 1,637 SF
 UNCOVERED DECK: 81 SF
 UNCOVERED DRIVEWAY: 370 SF
 TOTAL 2,088 SF (5.73%)

OFFSITE IMPERVIOUS SURFACES

DRIVEWAY: 324 SF
 TOTAL OFFSITE: 324 SF

TOTAL IMPERVIOUS SURFACES

HOUSE (ROOF EAVE): 1,637 SF
 UNCOVERED DECK: 81 SF
 UNCOVERED DRIVEWAY*: 694 SF
 TOTAL 2,412 SF

*INCLUDES ON-AND OFF-SITE DRIVEWAY

REGULATED AREA OF DISTURBANCE

HOUSE (FOUNDATION)= 1,491 SF
 15' BUILDING SETBACK= 3,507 SF
 TOTAL REGULATED AREA = 4,998 SF (13.71%)*

UNREGULATED AREA OF DISTURBANCE

SEPTIC= 4,200 SF
 DRIVEWAY= 424 SF
 TOTAL UNREGULATED AREA = 4,624 SF

*PER KCC 21A 24.072-A.5 NO MORE THAN 5,000 SF OR 10% OF THE SITE, WHICHEVER IS GREATER, CAN BE DISTURBED. 10% OF THE SITE IS (36,455 SF)(0.1)=3,645 SF WHICH IS LESS THAN 5,000 SF; THEREFORE, UP TO 5,000 SF OF REGULATED DISTURBANCE IS ALLOWED.



King County

Department of Permitting
and Environmental Review

11/22/2023

Residential TESC Template

RECOMMENDED CONSTRUCTION SEQUENCE

1. Hold the pre-construction meeting, if required
2. Post sign with name and phone number of TESC supervisor (may be consolidated with the required notice of construction sign).
3. Flag or fence clearing limits.
4. Install catch basin protection, if required.
5. Grade and install construction entrance(s)
6. Install perimeter protection (silt fence, brush barrier, etc.).
7. Construct sediment pond and traps, if required.
8. Grade and stabilize construction roads.
9. Construct surface water controls (interceptor dikes, pipe slope drains, etc.) simultaneously with clearing and grading for project development.
10. Maintain erosion control measures in accordance with King County standards and manufacturer's recommendations.
11. Relocate erosion control measure, or install new measures so that as site conditions change, the erosion and sediment control is always in accordance with the King County Erosion and Sedimentation Control Standards.
12. Cover all areas that will be unworked for more than seven days during the dry season or two days during the wet season with straw, wood fiber mulch, compost, plastic sheeting, or equivalent.
13. Stabilize all areas within seven days of reaching final grade.
14. Seed, sod, stabilize, or cover any areas to remain unworked for more than 30 days.
15. Upon completion of the project, stabilize all disturbed areas and remove BMP's if appropriate.

Engineering / Drainage Approval

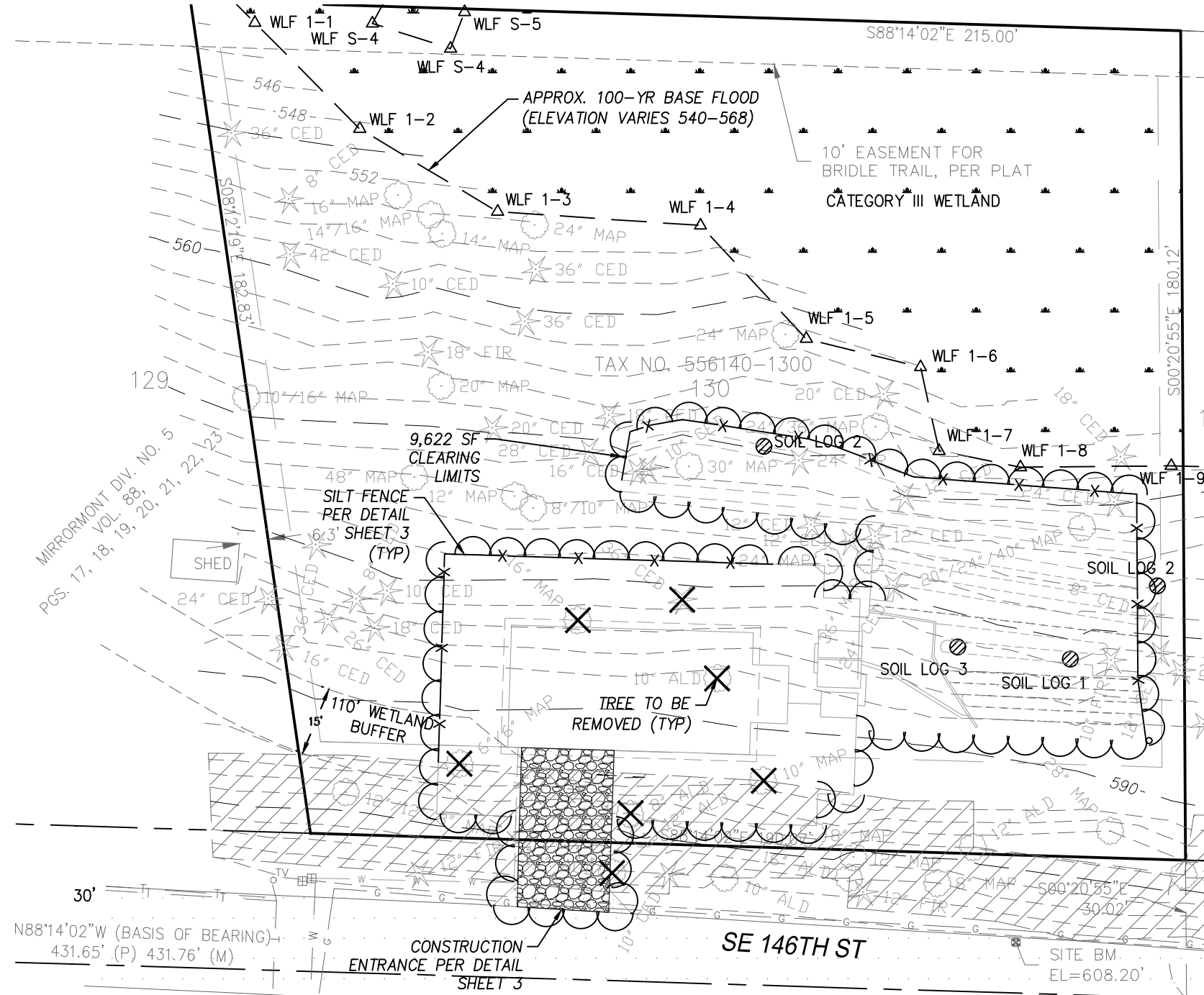
Signature: _____

Date: _____

Clearing / Grading Approval

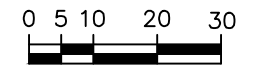
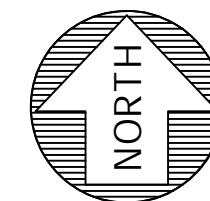
Signature: _____

Date: _____



TESC LEGEND:

- CONSTRUCTION LIMITS
- SILT FENCE PER DETAIL SHEET 3
- TREE PROTECTION FENCE PER DETAIL SHEET 3
- CB INLET PROTECTION PER DETAIL SHEET 3
- EX. TREE TO BE REMOVED
- TEMPORARY CONSTRUCTION ENTRANCE PER DETAIL SHEET 3



SCALE 1" = 30'

Encompass
ENGINEERING & SURVEYING

TESC PLAN
LEV SHABALOV
PROJECT #20589
WITHIN NW SEC. 23, TWN 23 N, RGE 06

Permit Number: TBD

Parcel Number: 556140-1300

Applicant Name: LEV & JULIA SHABALOV

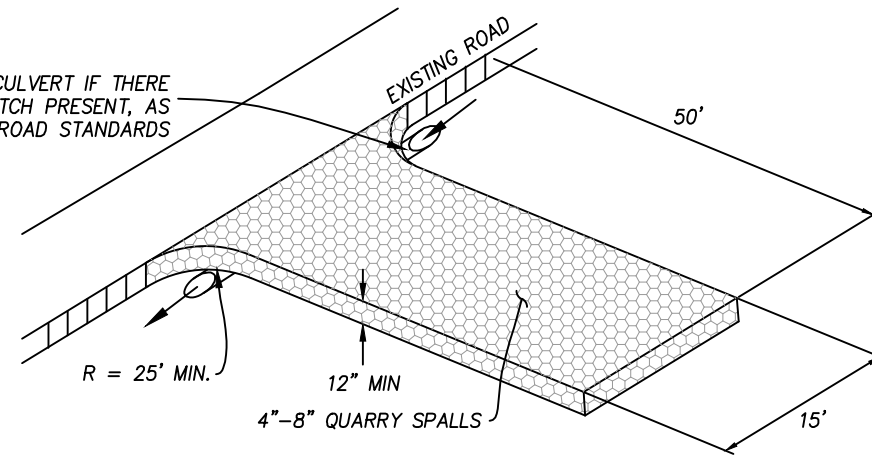
Site Address: 24XXX SE 146TH ST.

Engineering Scale: 1" = 1"=30'

Sheet 2 of 4

11/22/2023

INSTALL DRIVEWAY CULVERT IF THERE IS A ROADSIDE DITCH PRESENT, AS PER KING COUNTY ROAD STANDARDS

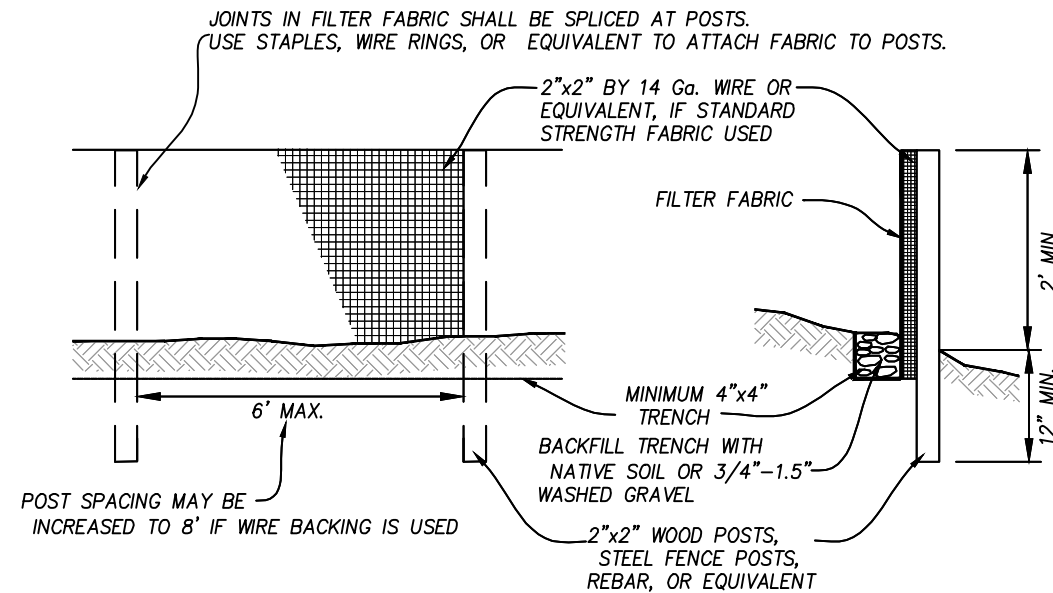


MAINTENANCE PER 2016 KCSWDM

1. QUARRY SPALLS (OR HOG FUEL) SHALL BE ADDED IF THE PAD IS NO LONGER IN ACCORDANCE WITH THE SPECIFICATIONS.
2. IF THE ENTRANCE IS NOT PREVENTING SEDIMENT FROM BEING TRACKED ONTO PAVEMENT, THEN ALTERNATIVE MEASURES TO KEEP THE STREETS FREE OF SEDIMENT SHALL BE USED. THIS MAY INCLUDE STREET SWEEPING, AN INCREASE IN THE DIMENSIONS OF THE ENTRANCE, OR THE INSTALLATION OF A WHEEL WASH. IF WASHING IS USED, IT SHALL BE DONE ON AN AREA COVERED WITH CRUSHED ROCK, AND WASH WATER SHALL DRAIN TO A SEDIMENT TRAP OR POND.
3. ANY SEDIMENT THAT IS TRACKED ONTO PAVEMENT SHALL BE REMOVED IMMEDIATELY BY SWEEPING. THE SEDIMENT COLLECTED BY SWEEPING SHALL BE REMOVED OR STABILIZED ON SITE. THE PAVEMENT SHALL NOT BE CLEANED BY WASHING DOWN THE STREET, EXCEPT WHEN SWEEPING IS INEFFECTIVE AND THERE IS A THREAT TO PUBLIC SAFETY. IF IT IS NECESSARY TO WASH THE STREETS, A SMALL SUMP MUST BE CONSTRUCTED. THE SEDIMENT WOULD THEN BE WASHED INTO THE SUMP WHERE IT CAN BE CONTROLLED. WASH WATER MUST BE PUMPED BACK ONTO THE SITE AND CAN NOT DISCHARGE TO SYSTEMS TRIBUTARY TO SURFACE WATERS.
4. ANY QUARRY SPALLS THAT ARE LOOSEENED FROM THE PAD AND END UP ON THE ROADWAY SHALL BE REMOVED IMMEDIATELY.
5. IF VEHICLES ARE ENTERING OR EXITING THE SITE AT POINTS OTHER THAN THE CONSTRUCTION ENTRANCE(S), FENCING SHALL BE INSTALLED TO CONTROL TRAFFIC.

CONSTRUCTION ENTRANCE DETAIL

NTS

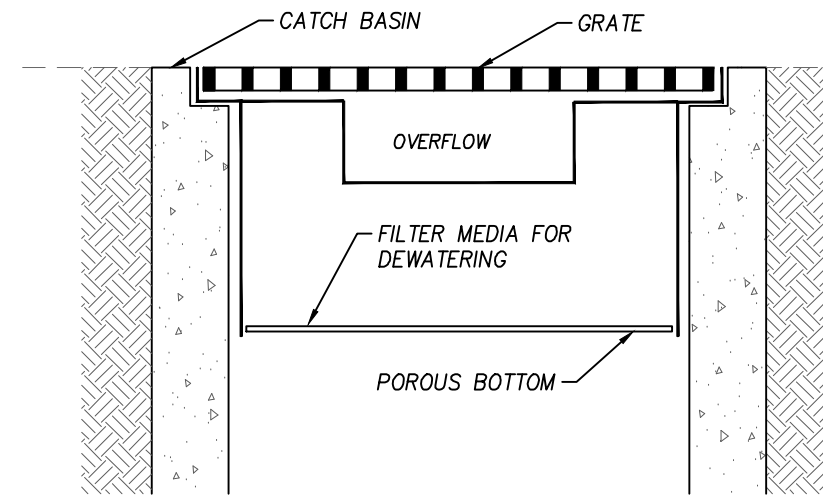


SILT FENCE MAINTENANCE PER 2016 KCSWDM

1. ANY DAMAGE SHALL BE REPAIRED IMMEDIATELY.
2. IF CONCENTRATED FLOWS ARE EVIDENT UPHILL OF THE FENCE, THEY MUST BE INTERCEPTED AND CONVEYED TO A SEDIMENT TRAP OR POND.
3. IT IS IMPORTANT TO CHECK THE UPHILL SIDE OF THE FENCE FOR SIGNS OF THE FENCE CLOGGING AND ACTING AS A BARRIER TO FLOW AND THEN CAUSING CHANNELIZATION OF FLOWS PARALLEL TO THE FENCE. IF THIS OCCURS, REPLACE THE FENCE OR REMOVE THE TRAPPED SEDIMENT.
4. SEDIMENT MUST BE REMOVED WHEN THE SEDIMENT IS 6 INCHES HIGH.
5. IF THE FILTER FABRIC (GEOTEXTILE) HAS DETERIORATED DUE TO ULTRAVIOLET BREAKDOWN, IT SHALL BE REPLACED.

SILT FENCE DETAIL

NTS



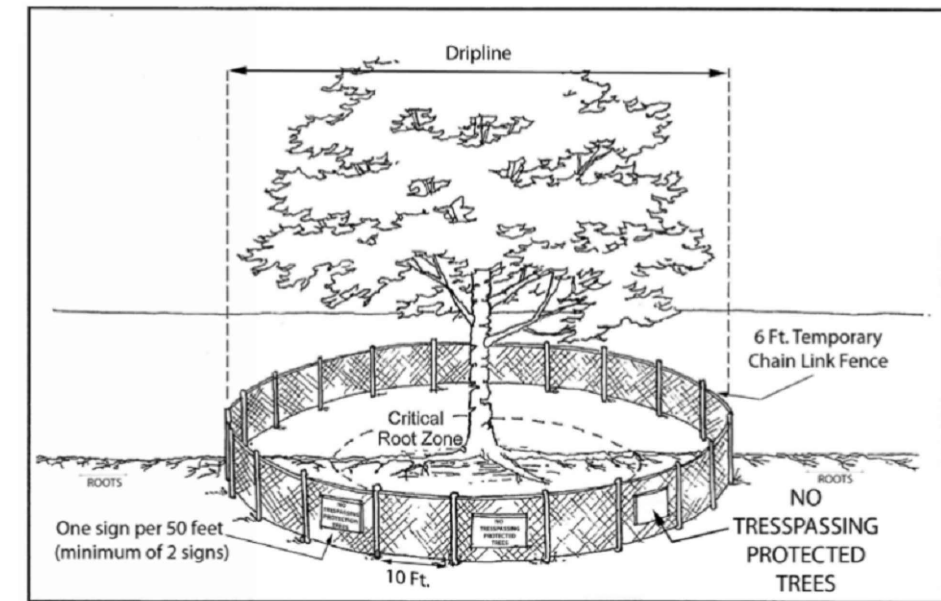
NOTE: THIS DETAIL IS ONLY SCHEMATIC. ANY INSERT IS ALLOWED THAT HAS A MIN. 0.5 C.F. OF STORAGE, THE MEANS TO DEWATER THE STORED SEDIMENT, AN OVERFLOW, AND CAN BE EASILY MAINTAINED.

MAINTENANCE STANDARDS

1. ANY ACCUMULATED SEDIMENT ON OR AROUND THE FILTER FABRIC PROTECTION SHALL BE REMOVED IMMEDIATELY. SEDIMENT SHALL NOT BE REMOVED WITH WATER, AND ALL SEDIMENT MUST BE DISPOSED OF AS FILL ON-SITE OR HAULED OFF-SITE.
2. ANY SEDIMENT IN THE CATCH BASIN INSERT SHALL BE REMOVED WHEN THE INSERT HAS FILLED ONE-THIRD OF THE AVAILABLE STORAGE. THE FILTER MEDIA FOR THE INSERT SHALL BE CLEANED OR REPLACED AT LEAST MONTHLY.
3. REGULAR MAINTENANCE IS CRITICAL FOR BOTH FORMS OF CATCH BASIN PROTECTION. UNLIKE MANY FORMS OF PROTECTION THAT FAIL GRADUALLY, CATCH BASIN PROTECTION WILL FAIL SUDDENLY AND COMPLETELY IF NOT MAINTAINED PROPERLY.

CATCH BASIN INSERT DETAIL

NTS



TREE PROTECTION DETAIL

NTS

Residential TESC Template

RECOMMENDED CONSTRUCTION SEQUENCE

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11. Relocate erosion control measure, or install new measures so that as site conditions change, the erosion and sediment control is always in accordance with the King County Erosion and Sedimentation Control Standards.
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15. Upon completion of the project, stabilize all disturbed areas and remove BMP's if appropriate.

Engineering / Drainage Approval

Signature: _____

Date: _____

Clearing / Grading Approval

Signature: _____

Date: _____

Encompass
ENGINEERING & SURVEYING

TESC DETAILS

LEV SHABALOV

PROJECT #20589

WITHIN NW SEC. 23, TWN 23 N, RGE 06

Permit Number: TBD

Parcel Number: 556140-1300

Applicant Name: LEV & JULIA SHABALOV

Site Address: 24XXX SE 146TH ST.

Engineering Scale: 1" = N/A

Sheet 3 of 4



King County
Department of Permitting
and Environmental Review

Residential Site Plan Template

Ref: KCC 21a.12.030
Max. Impervious Surface Allowed _____
Max. Bldg. Height Allowed _____
Ref: KCC 21a.12.170
Min. Blg. Setback From Street _____
Min. Garage Setback From Street _____
Min. Blg. Setback From Interior _____
Permit Center validation:
o Zoning
o Site Review Not Applicable

Validated Signature _____
Login Initials _____ Date: _____

Engineering / Drainage Approval

Signature: _____
Date: _____

Critical Areas Approval

Signature: _____
Date: _____

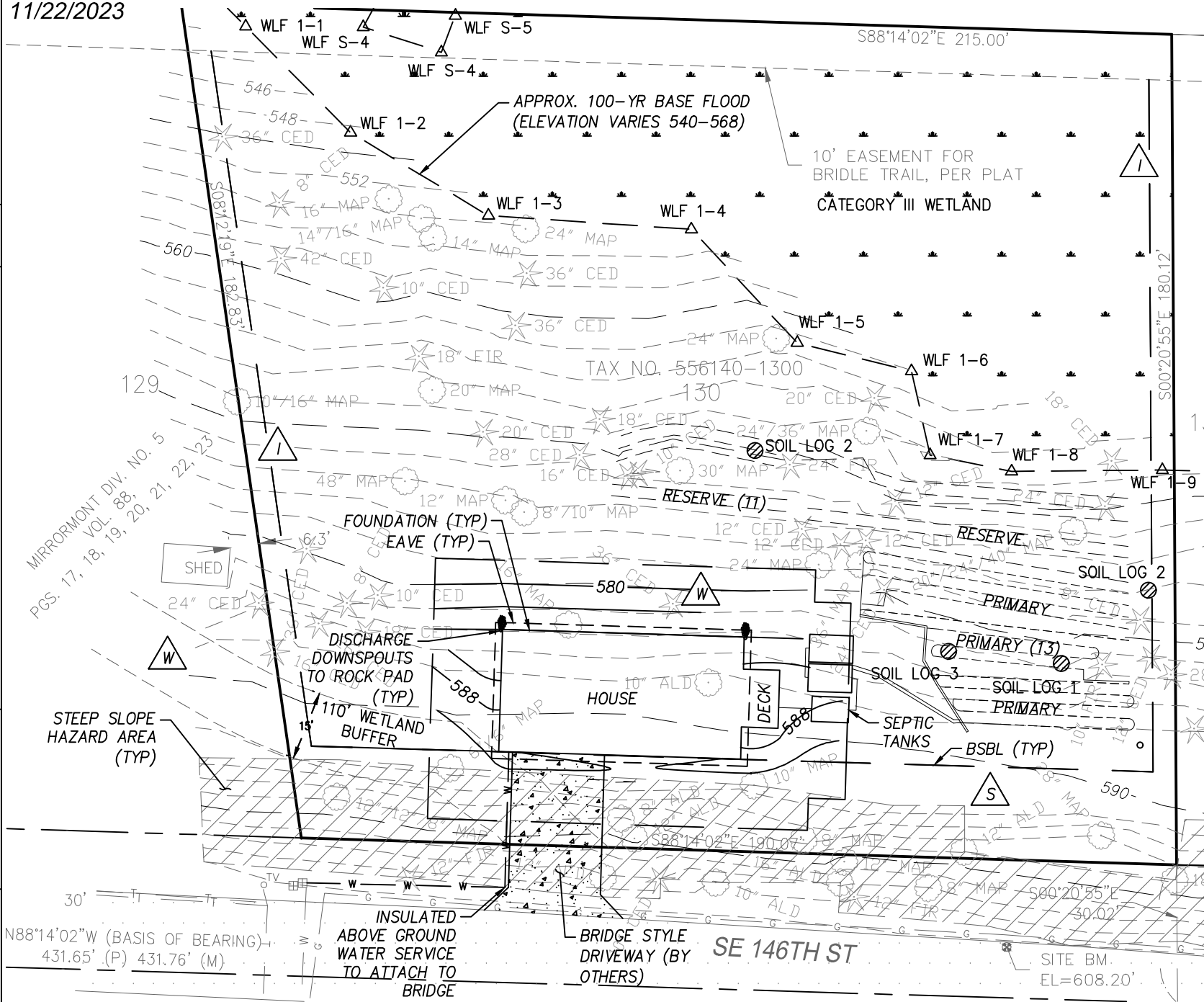
Clearing / Grading Approval

Signature: _____
Date: _____

Fire Approval

Signature: _____
Date: _____

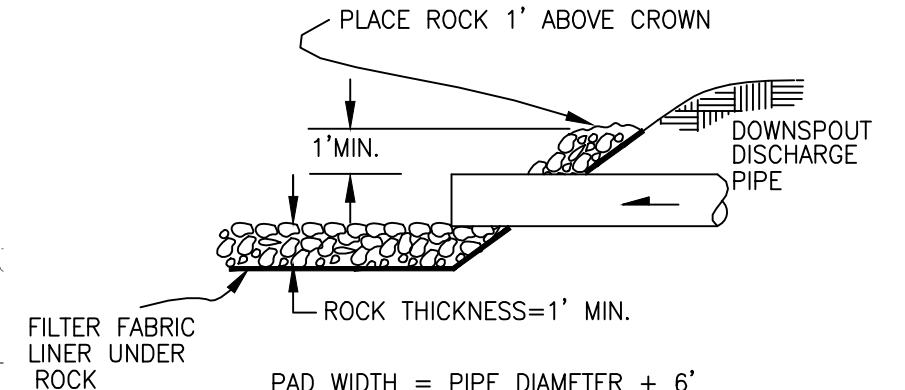
11/22/2023



REDUCED IMPERVIOUS SURFACE CREDIT:

PER 2021 KCSWDM C.2.9.2.2, ANY RECORDED LIMIT OF ONSITE IMPERVIOUS SURFACE IN AN AMOUNT LESS THAN THE NORM OF 4,000 SF QUALIFIES FOR A RESTRICTED FOOTPRINT CREDIT EQUAL TO THE DIFFERENCE IN SQUARE FOOTAGE.

- 4,000 SF - 2,088 SF = 1,912 SF CREDIT (79% OF TOTAL IMPERVIOUS)
- 79% IMPERVIOUS MITIGATED > 20% MINIMUM PER 2021 KCSWDM 1.2.9.2.2.5



PAD WIDTH = PIPE DIAMETER + 6'
PAD LENGTH = 8' OR 4 x PIPE DIAMETER

RIP RAP SHALL BE QUARRY SPALLS WITH FOLLOWING GRADATION:
PASSING 8" SQUARE SIEVE = 100%
PASSING 3" SQUARE SIEVE = 40%-60% MAX.
PASSING 3/4" SQUARE SIEVE = 0%-10% MAX.

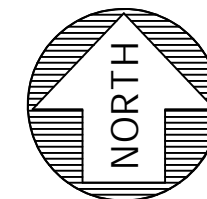
ROCK PAD DETAIL

NOT TO SCALE

BSBL DISTANCES:

- * STREET: 20'
- * INTERIOR: 5'
- * WETLAND: 15'

* PER KCC 214.12.030.B.9(b)



SCALE 1" = 30'

Encompass
ENGINEERING & SURVEYING

GRADING & DRAINAGE PLAN
LEV SHABALOV
PROJECT #20589
WITHIN NW SEC. 23, TWN 23 N, RGE 06

Permit Number: TBD Parcel Number: 556140-1300 Applicant Name: LEV & JULIA SHABALOV Site Address: 24XXX SE 146TH ST.

Engineering Scale: 1" = 1"=30'

Sheet 4 of 4