



**King County**  
Department of Permitting  
and Environmental Review

**Residential Site Plan Template**

**Ref: KCC 21a.12.030**

Max. Impervious Surface Allowed \_\_\_\_\_

Max. Bldg. Height Allowed \_\_\_\_\_

**Ref: KCC 21a.12.170**

Min. Blg. Setback From Street \_\_\_\_\_

Min. Garage Setback From Street \_\_\_\_\_

Min. Blg. Setback From Interior \_\_\_\_\_

**Permit Center validation:**

- Zoning
- Site Review Not Applicable

Validated Signature \_\_\_\_\_

Login Initials \_\_\_\_\_ Date: \_\_\_\_\_

**Engineering / Drainage Approval**

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

**Critical Areas Approval**

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

**Clearing / Grading Approval**

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

**Fire Approval**

Signature: \_\_\_\_\_

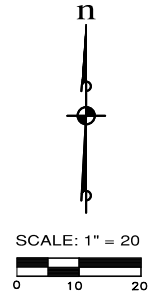
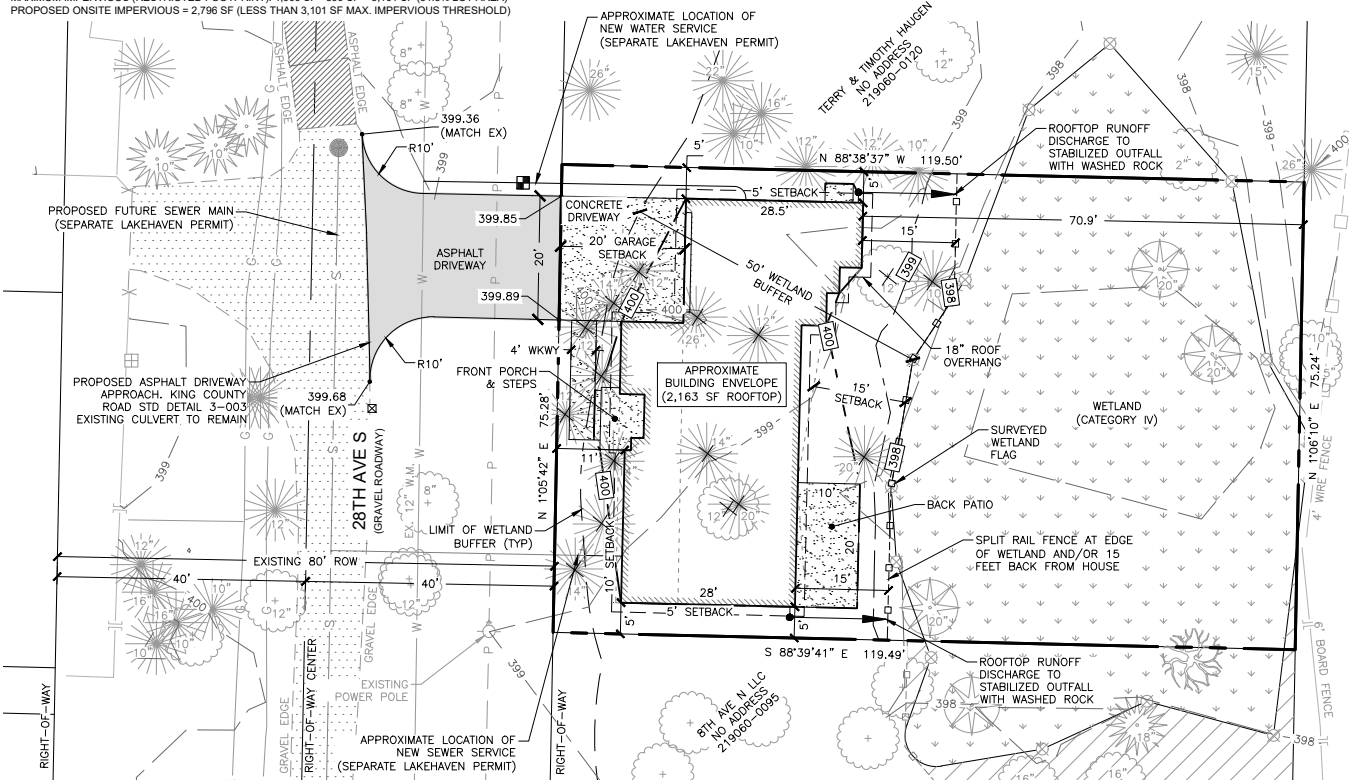
Date: \_\_\_\_\_

**FLOW CONTROL BMPs**

PER SMALL LOT BMP REQUIREMENTS IN APPENDIX C.1.3.1 OF THE KCSWDM, BMPs MUST BE IMPLEMENTED, AT A MINIMUM, FOR AN IMPERVIOUS AREA EQUAL TO AT LEAST 10% OF THE LOT FOR LOT SIZES UP TO 11,000 SF.

LOT SIZE = 8,993 SF  
(THEREFORE, 899 SF MINIMUM OF IMPERVIOUS AREA REQUIRES FLOW CONTROL BMP TREATMENT)

PROJECT TO UTILIZE RESTRICTED FOOTPRINT BMP  
MAXIMUM IMPERVIOUS PER ZONING (R-4) = 70% OF LOT AREA = 6,295 SF (USE 4,000 SF)  
MAXIMUM IMPERVIOUS (RESTRICTED FOOTPRINT): 4,000 SF - 899 SF = 3,101 SF (34.5% LOT AREA)  
PROPOSED ONSITE IMPERVIOUS = 2,796 SF (LESS THAN 3,101 SF MAX. IMPERVIOUS THRESHOLD)



MARTIN ELLIOTT L  
34815 28th Ave S  
219060-0010 S

INGUYEN JESSICA  
34815 28th Ave S  
219060-0010 S

**PROJECT IMPACTS**

SITE AREA:	8,993 SF
TOTAL PROJECT IMPACT	
GROSS DISTURBED AREA	4,347 SF
NET DISTURBED AREA (MINUS ONSITE DRIVEWAY)	3,947 SF
PROPOSED ONSITE PERVIOUS	1,551 SF
<b>PROPOSED ONSITE IMPERVIOUS:</b>	
SINGLE FAMILY RESIDENCE	2,163 SF (ROOF)
BACK PATIO (EXPOSED)	170 SF
WALKWAY (EXPOSED)	107 SF
CONCRETE DRIVEWAY (EXPOSED)	356 SF
TOTAL ONSITE IMPERVIOUS	2,796 SF
<b>PROPOSED OFFSITE IMPERVIOUS:</b>	
OFFSITE DRIVE APPROACH	665 SF
TOTAL IMPERV (OFFSITE + ONSITE)	3,461 SF

**CRITICAL AREA NOTE**

THE WETLAND AREA SHOWN ON THIS MAP HAS BEEN DELINEATED BY HABITAT TECHNOLOGIES AND LOCATED BY ESM CONSULTING ENGINEERS. FURTHER MAPS, BUFFER IMPACTS, AND STUDIES CAN BE FOUND IN THE MAPS AND REPORTS PREPARED BY HABITAT TECHNOLOGIES

**LEGAL DESCRIPTION**

PER RECORDING NUMBER 2022031000094  
LOTS 21, 22, AND 23, BLOCK 1, EAST TACOMA CENTRAL ADDITION, ACCORDING TO THE PLAT THERE OF RECORDED IN VOLUME 4 OF PLATS, PAGE 26, RECORDS OF KING COUNTY AUDITOR;  
SITUATE IN THE COUNTY OF KING, STATE OF WASHINGTON

**PROJECT CONTACTS**

**ENGINEER/SURVEYOR**  
ESM CONSULTING ENGINEERS  
33400 8TH AVE SOUTH, SUITE 205  
FEDERAL WAY, WA 98003  
(253) 838-6113

**WETLAND BIOLOGIST**  
HABITAT TECHNOLOGIES  
BOX 1088  
PUYALLUP, WA 98371  
(253) 845-5119  
CONTACT: BRYAN PECK

**APPLICANT/OWNER**  
IVAN KALCHA  
8TH AVE N LLC  
115 8TH AVE N  
ALGONA, WA 98001

**EARTHWORK**

CUT: 0 CY  
FILL: 125 CY  
NET: 125 CY

SHRINK/WELL FACTORS HAVE NOT BEEN APPLIED, DOES NOT INCLUDE SITE STRIPPING VOLUME. CONTRACTOR TO VERIFY EXACT VOLUMES AS NEEDED.

