



**King County**  
Department of Permitting  
and Environmental Review

Residential Site Plan Template

Ref: KCC 21a.12.030

Max. Impervious Surface Allowed \_\_\_\_\_

Max. Bldg. Height Allowed \_\_\_\_\_

Ref: KCC 21a.12.170

Min. Blg. Setback From Street \_\_\_\_\_

Min. Garage Setback From Street \_\_\_\_\_

Min. Blg. Setback From Interior \_\_\_\_\_

Permit Center validation:

- Zoning
- Site Review Not Applicable

Validated Signature \_\_\_\_\_

Login Initials \_\_\_\_\_ Date: \_\_\_\_\_

Engineering / Drainage Approval

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Critical Areas Approval

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Clearing / Grading Approval

Signature: \_\_\_\_\_

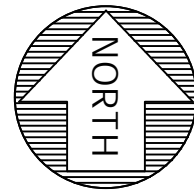
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Fire Approval

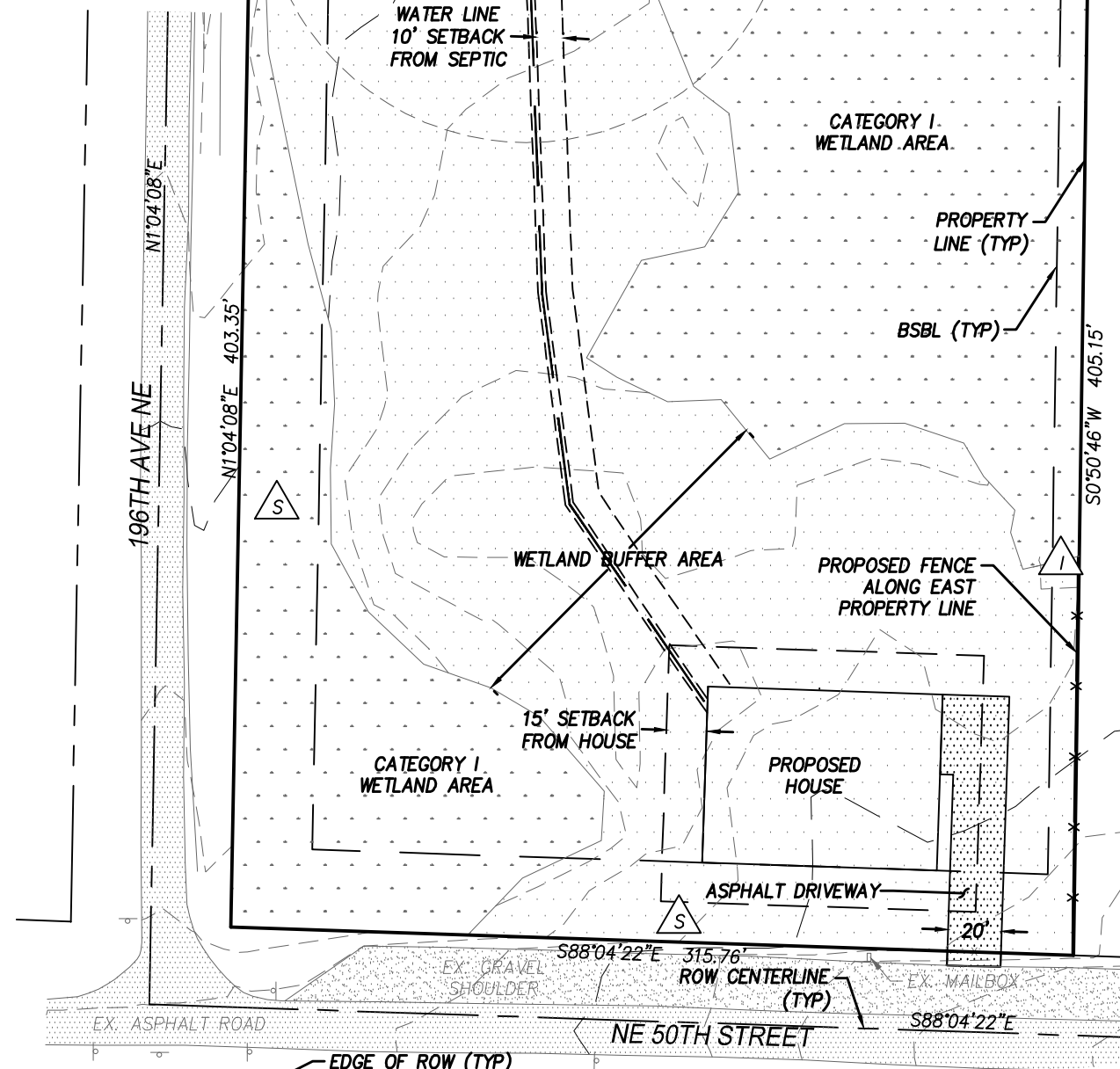
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Date: \_\_\_\_\_

12/16/2024



SCALE 1" = 60'



**PROJECT TEAM:**

**APPLICANT:** JAGAN MOHAN MADDUKURI  
1601 NE KATSURA ST, UNIT 203  
ISSAQUAH, WA - 98029  
206-234-8740

**ENGINEER / SURVEYOR:** COSTA PHILIPPIDES / KEVIN REESE, PE  
ENCOMPASS ENGINEERING & SURVEYING  
165 NE JUNIPER ST. STE. 201  
ISSAQUAH, WA 98027  
(425) 392-0250

**PLANNER:** AMY DONLAN  
ENCOMPASS ENGINEERING & SURVEYING  
165 NE JUNIPER ST. STE. 201  
ISSAQUAH, WA 98027  
(425) 392-0250

**SEPTIC DESIGNER:** HUARD SEPTIC DESIGN  
PO BOX 2243  
NORTH BEND, WA 98045  
(425) 831-1781

**BIOLOGIST:** JEFF JONES  
PO BOX 1988  
ISSAQUAH, WA 98027  
258-905-5736

**AREAS OF DISTURBANCE:**

**-REGULATED**  
PROPOSED RESIDENCE (ROOF): 5,808 SF  
15' BSBL: 5,520 SF  
WATER LINE & TRENCH: 1,000 SF  
DISPERSION TRENCH: 180 SF  
TOTAL REGULATED AREA: 12,508 SF\* (9.85%)

**-UNREGULATED**  
SEPTIC: 2,128 SF  
PROPOSED DRIVEWAY (ON-SITE): 1,110 SF  
TOTAL AREA DISTURBED 3,238 SF (2.55%)

\*PER KCC 21A 24.072-A.5 NO MORE THAN 5000 SF OR 10% OF THE SITE, WHICHEVER IS GREATER, CAN BE DISTURBED BUT NOT INCLUDING THE AREA USED FOR DRIVEWAY OR FOR AN ON-SITE SEWAGE DISPOSAL SYSTEM  
127,028 SF X 0.10 = 12,702 SF

**SHEET INDEX:**

TITLE	NO.
SITE PLAN	1
TESC PLAN	2
TESC DETAILS	3
GRADING & DRAINAGE PLAN	4
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**KCSWDM NOTE:**  
ALL REFERENCE DETAILS SHALL BE IN ACCORDANCE WITH THE KCSWDM 2021 EDITION.

**SITE DATA:**

**TAX PARCEL NO:** 172506-9124  
**SITE ADDRESS:** XXXXX NE 50TH ST  
**SITE AREA:** 127,028 SF (2.91 AC)  
**ZONING:** RA-5  
**MIXED DENSITY:** .2 DU/AC  
**MIN LOT WIDTH:** 135 FEET  
**MAX IMPERVIOUS:** 20%  
**MAX BLDG HEIGHT:** 35 FEET  
**REQUIRED PARKING:** 2 PER DU

**SETBACKS:**

**ZONING DISTRICT:** RA5  
**MIN. STREET SETBACK:** 30'  
**MIN. INTERIOR SETBACK:** 10'  
**MIN. WETLAND SETBACK:** 15'

**UTILITY DISTRICT INFORMATION:**

**WATER:** PRIVATE  
**SEWER:** PRIVATE  
**ELECTRICAL:** PSE  
**FIRE DISTRICT:** KING COUNTY FIRE PROTECTION DISTRICT NO. 27

**EARTHWORK TABLE**

107 CY CUT  
25 CY FILL  
82 CY NET  
\*CONTRACTOR TO VERIFY EARTHWORK QUANTITIES

**ON-SITE IMPERVIOUS COVERAGE:**

PROPOSED RESIDENCE (ROOF): 5,808 SF  
PROPOSED DRIVEWAY (ON-SITE)\*: 1,110 SF  
TOTAL ONSITE IMPERVIOUS 6,918 SF (5.45%)

\*NOTE: AN ADDITIONAL 105 SF OF PROPOSED DRIVEWAY IS LOCATED OFF-SITE IN THE PUBLIC ROW.

**NOTE:** APPLICANT HAS REQUESTED A FARM PLAN FROM THE KING CONSERVATION DISTRICT.



**SITE PLAN**  
MADDUKURI RESIDENCE  
PROJECT # 22585  
WITHIN SE SEC. 17, TWN 25N, RGE 06

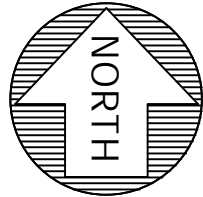


**King County**

Department of Permitting  
and Environmental Review

Residential TESC Template

12/16/2024



0 510 25 50

SCALE 1" = 50'

**RECOMMENDED CONSTRUCTION SEQUENCE**

1. Hold the pre-construction meeting, if required
2. Post sign with name and phone number of TESC supervisor (may be consolidated with the required notice of construction sign).
3. Flag or fence clearing limits.
4. Install catch basin protection, if required.
5. Grade and install construction entrance(s)
6. Install perimeter protection (silt fence, brush barrier, etc.).
7. Construct sediment pond and traps, if required.
8. Grade and stabilize construction roads.
9. Construct surface water controls (interceptor dikes, pipe slope drains, etc.) simultaneously with clearing and grading for project development.
10. Maintain erosion control measures in accordance with King County standards and manufacturer's recommendations.
11. Relocate erosion control measure, or install new measures so that as site conditions change, the erosion and sediment control is always in accordance with the King County Erosion and Sedimentation Control Standards.
12. Cover all areas that will be unworked for more than seven days during the dry season or two days during the wet season with straw, wood fiber mulch, compost, plastic sheeting, or equivalent.
13. Stabilize all areas within seven days of reaching final grade.
14. Seed, sod, stabilize, or cover any areas to remain unworked for more than 30 days.
15. Upon completion of the project, stabilize all disturbed areas and remove BMP's if appropriate.

**Engineering / Drainage Approval**

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

**Clearing / Grading Approval**

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Permit Number: **TBD**

Parcel Number: **172506-9124**

Applicant Name: **JAGAN M. MADDUKURI**

Site Address: **XXXXX NE 50th St**

**EROSION PROTECTION NOTE:**

ALL EXPOSED SOIL TO BE COVERED WITH MULCH, STRAW, AND/OR PLASTIC SHEETES PER FIG. C.3.4.A AND/OR TABLE C.3.2.A KCSWDM. UNDER NO CIRCUMSTANCES SHALL SOIL STOCKPILES BE LEFT UNCOVERED.

**SOIL MANAGEMENT AREAS:**

- (A) LEAVE NATIVE SOILS UNDISTURBED
- (B) STOCKPILE NATIVE SOILS, REAPPLY AFTER GRADING AND CONSTRUCTION, AND AMEND IN PLACE (14,813 SF)

**DRAINFIELD NOTE:**

WORK AND/OR MECHANICAL EQUIPMENT/MACHINERY IN THE PROPOSED SEPTIC SYSTEM DRAINFIELD AREAS IS STRICTLY PROHIBITED WITH THE EXCEPTION TO THE LICENSED INSTALLER AND/OR DESIGNER.

**TESC CONSTRUCTION NOTE:**

CLEARING LIMITS TO BE ESTABLISHED AT BEGINNING OF CONSTRUCTION ENTRANCE.

**CONTRACTOR RESPONSIBILITY:**

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY, DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, AND THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

**DISCREPANCIES:**

IF THERE ARE ANY DISCREPANCIES BETWEEN DIMENSIONS IN DRAWINGS AND EXISTING CONDITIONS WHICH WILL AFFECT THE WORK, THE CONTRACTOR SHALL BRING SUCH DISCREPANCIES TO THE ATTENTION OF THE ENGINEER FOR ADJUSTMENT BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER FITTING OF ALL WORK AND FOR THE COORDINATION OF ALL TRADES, SUBCONTRACTORS, AND PERSONS ENGAGED UPON THIS CONTRACT.

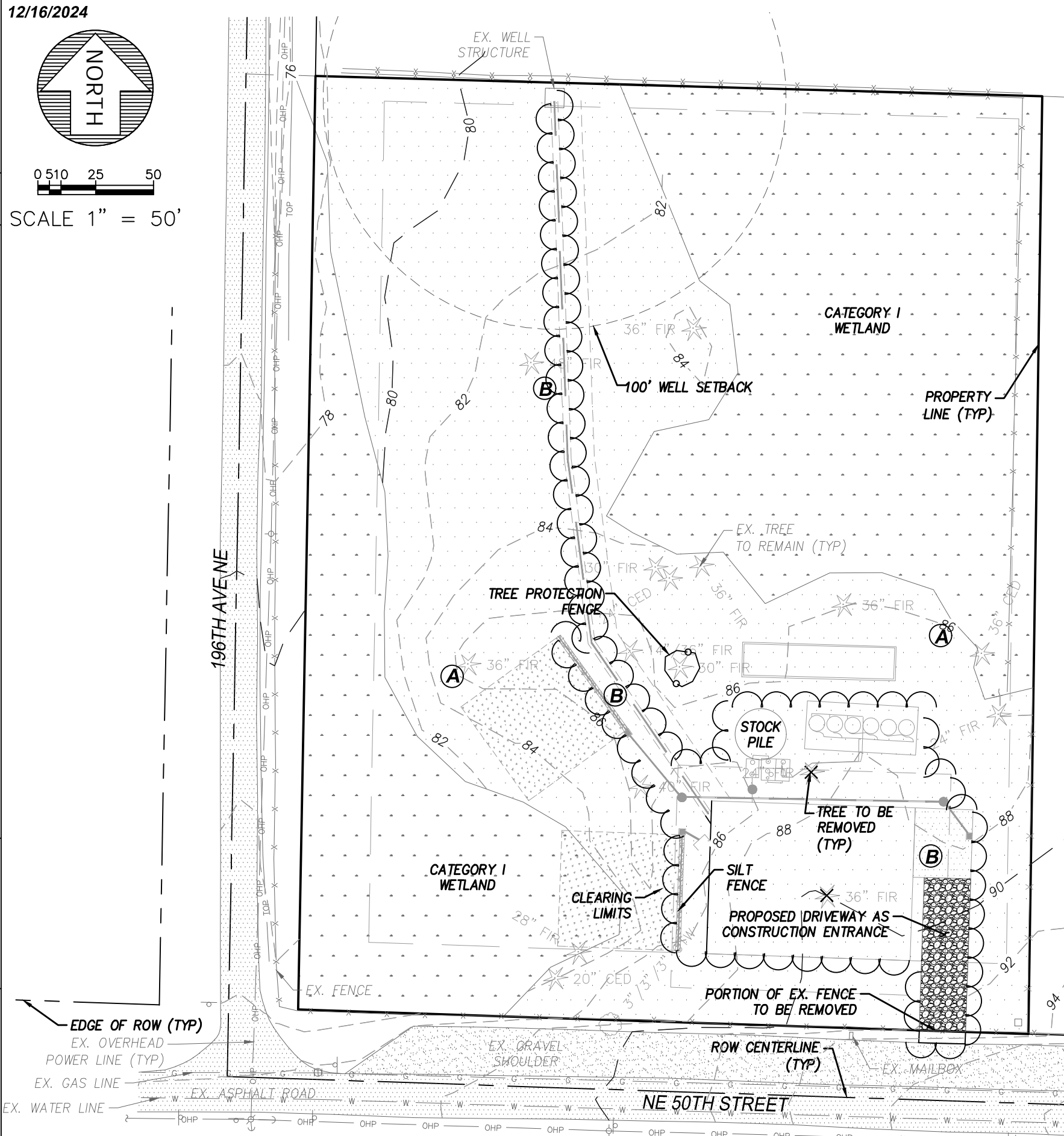
**TESC LEGEND:**

- CONSTRUCTION LIMITS
- SILT FENCE PER DETAIL SHEET 3
- TREE PROTECTION FENCE PER DETAIL SHEET 3
- CB INLET PROTECTION PER DETAIL SHEET 3
- EX. TREE TO BE REMOVED
- TEMPORARY CONSTRUCTION ENTRANCE PER DETAIL SHEET 3

**Encompass**  
ENGINEERING & SURVEYING

**TESC PLAN**

MADDUKURI RESIDENCE  
PROJECT # 22585  
WITHIN SE SEC. 17, TWN 25N, RGE 06



Engineering Scale: 1" = **50'**

Sheet **2** of **6**



Residential TESC Template

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Engineering / Drainage Approval

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Date: \_\_\_\_\_

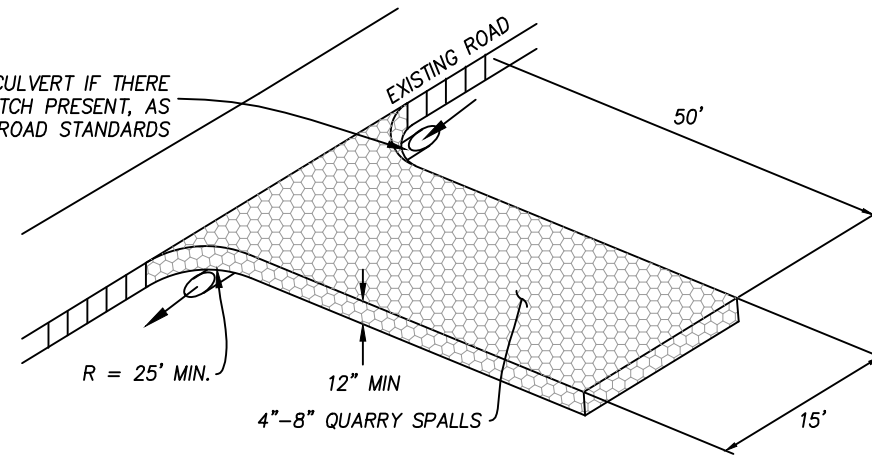
Clearing / Grading Approval

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Date: \_\_\_\_\_

12/16/2024

INSTALL DRIVEWAY CULVERT IF THERE IS A ROADSIDE DITCH PRESENT, AS PER KING COUNTY ROAD STANDARDS

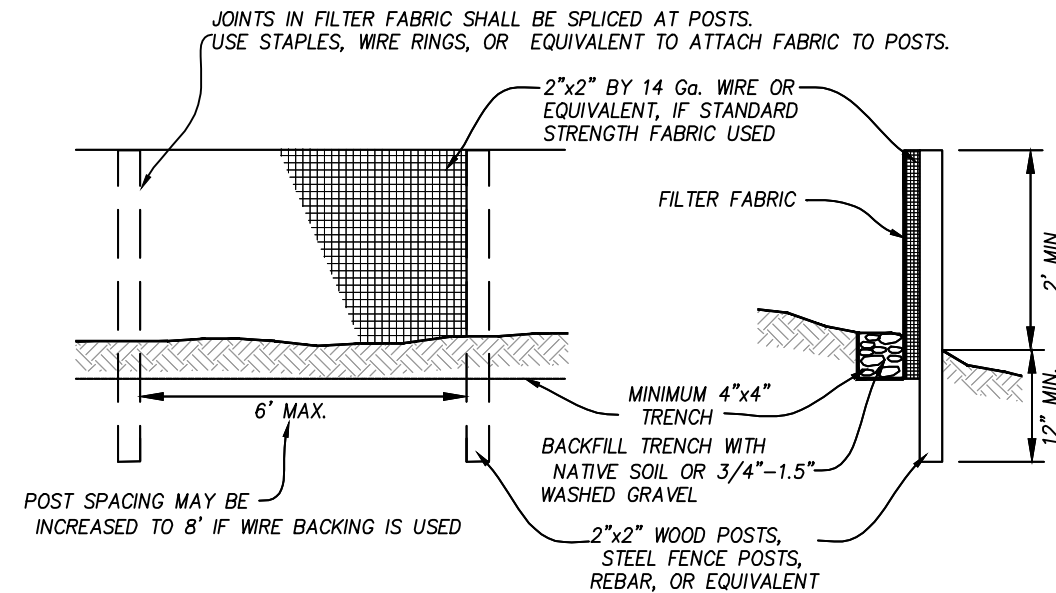


MAINTENANCE PER 2016 KCSWDM

1. QUARRY SPALLS (OR HOG FUEL) SHALL BE ADDED IF THE PAD IS NO LONGER IN ACCORDANCE WITH THE SPECIFICATIONS.
2. IF THE ENTRANCE IS NOT PREVENTING SEDIMENT FROM BEING TRACKED ONTO PAVEMENT, THEN ALTERNATIVE MEASURES TO KEEP THE STREETS FREE OF SEDIMENT SHALL BE USED. THIS MAY INCLUDE STREET SWEEPING, AN INCREASE IN THE DIMENSIONS OF THE ENTRANCE, OR THE INSTALLATION OF A WHEEL WASH. IF WASHING IS USED, IT SHALL BE DONE ON AN AREA COVERED WITH CRUSHED ROCK, AND WASH WATER SHALL DRAIN TO A SEDIMENT TRAP OR POND
3. ANY SEDIMENT THAT IS TRACKED ONTO PAVEMENT SHALL BE REMOVED IMMEDIATELY BY SWEEPING. THE SEDIMENT COLLECTED BY SWEEPING SHALL BE REMOVED OR STABILIZED ON SITE. THE PAVEMENT SHALL NOT BE CLEANED BY WASHING DOWN THE STREET, EXCEPT WHEN SWEEPING IS INEFFECTIVE AND THERE IS A THREAT TO PUBLIC SAFETY. IF IT IS NECESSARY TO WASH THE STREETS, A SMALL SUMP MUST BE CONSTRUCTED. THE SEDIMENT WOULD THEN BE WASHED INTO THE SUMP WHERE IT CAN BE CONTROLLED. WASH WATER MUST BE PUMPED BACK ONTO THE SITE AND CAN NOT DISCHARGE TO SYSTEMS TRIBUTARY TO SURFACE WATERS.
4. ANY QUARRY SPALLS THAT ARE LOOSEENED FROM THE PAD AND END UP ON THE ROADWAY SHALL BE REMOVED IMMEDIATELY.
5. IF VEHICLES ARE ENTERING OR EXITING THE SITE AT POINTS OTHER THAN THE CONSTRUCTION ENTRANCE(S), FENCING SHALL BE INSTALLED TO CONTROL TRAFFIC.

**CONSTRUCTION ENTRANCE DETAIL**

NTS

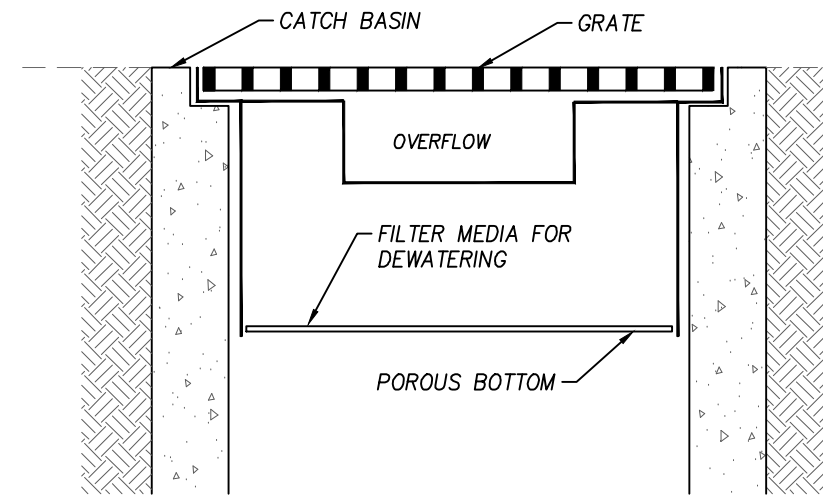


SILT FENCE MAINTENANCE PER 2016 KCSWDM

1. ANY DAMAGE SHALL BE REPAIRED IMMEDIATELY.
2. IF CONCENTRATED FLOWS ARE EVIDENT UPHILL OF THE FENCE, THEY MUST BE INTERCEPTED AND CONVEYED TO A SEDIMENT TRAP OR POND.
3. IT IS IMPORTANT TO CHECK THE UPHILL SIDE OF THE FENCE FOR SIGNS OF THE FENCE CLOGGING AND ACTING AS A BARRIER TO FLOW AND THEN CAUSING CHANNELIZATION OF FLOWS PARALLEL TO THE FENCE. IF THIS OCCURS, REPLACE THE FENCE OR REMOVE THE TRAPPED SEDIMENT.
4. SEDIMENT MUST BE REMOVED WHEN THE SEDIMENT IS 6 INCHES HIGH.
5. IF THE FILTER FABRIC (GEOTEXTILE) HAS DETERIORATED DUE TO ULTRAVIOLET BREAKDOWN, IT SHALL BE REPLACED

**SILT FENCE DETAIL**

NTS



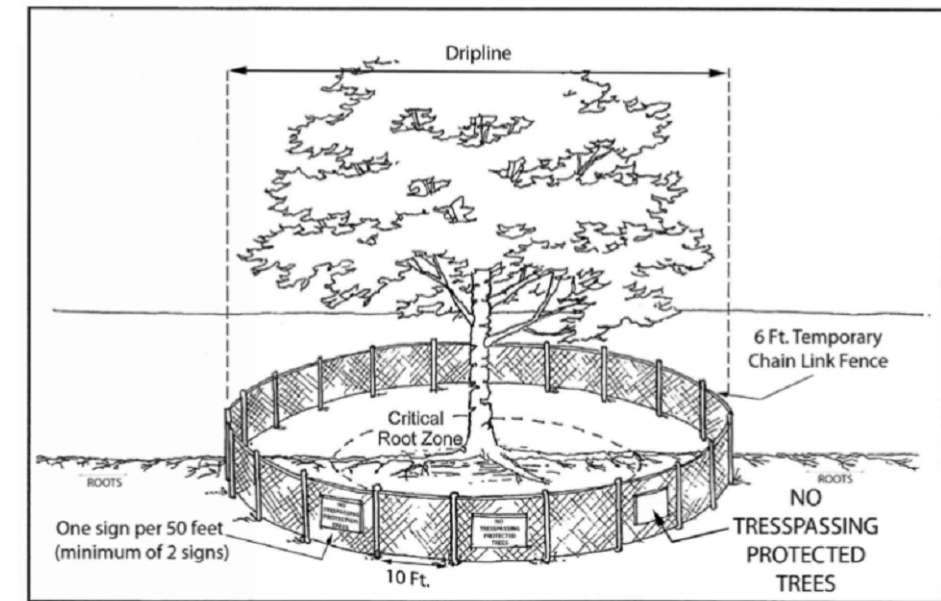
NOTE: THIS DETAIL IS ONLY SCHEMATIC. ANY INSERT IS ALLOWED THAT HAS A MIN. 0.5 C.F. OF STORAGE, THE MEANS TO DEWATER THE STORED SEDIMENT, AN OVERFLOW, AND CAN BE EASILY MAINTAINED.

MAINTENANCE STANDARDS

1. ANY ACCUMULATED SEDIMENT ON OR AROUND THE FILTER FABRIC PROTECTION SHALL BE REMOVED IMMEDIATELY. SEDIMENT SHALL NOT BE REMOVED WITH WATER, AND ALL SEDIMENT MUST BE DISPOSED OF AS FILL ON-SITE OR HAULED OFF-SITE.
2. ANY SEDIMENT IN THE CATCH BASIN INSERT SHALL BE REMOVED WHEN THE INSERT HAS FILLED ONE-THIRD OF THE AVAILABLE STORAGE. THE FILTER MEDIA FOR THE INSERT SHALL BE CLEANED OR REPLACED AT LEAST MONTHLY.
3. REGULAR MAINTENANCE IS CRITICAL FOR BOTH FORMS OF CATCH BASIN PROTECTION. UNLIKE MANY FORMS OF PROTECTION THAT FAIL GRADUALLY, CATCH BASIN PROTECTION WILL FAIL SUDDENLY AND COMPLETELY IF NOT MAINTAINED PROPERLY.

**CATCH BASIN INSERT DETAIL**

NTS



**TREE PROTECTION DETAIL**

NTS



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 Max. Bldg. Height Allowed \_\_\_\_\_  
 Ref: KCC 21a.12.170  
 Min. Blg. Setback From Street \_\_\_\_\_  
 Min. Garage Setback From Street \_\_\_\_\_  
 Min. Blg. Setback From Interior \_\_\_\_\_  
 Permit Center validation:  
 o Zoning \_\_\_\_\_  
 o Site Review Not Applicable \_\_\_\_\_  
 Validated Signature \_\_\_\_\_  
 Login Initials \_\_\_\_\_ Date: \_\_\_\_\_

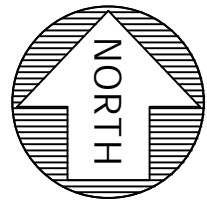
Engineering / Drainage Approval  
 Signature: \_\_\_\_\_  
 Date: \_\_\_\_\_

Critical Areas Approval  
 Signature: \_\_\_\_\_  
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Clearing / Grading Approval  
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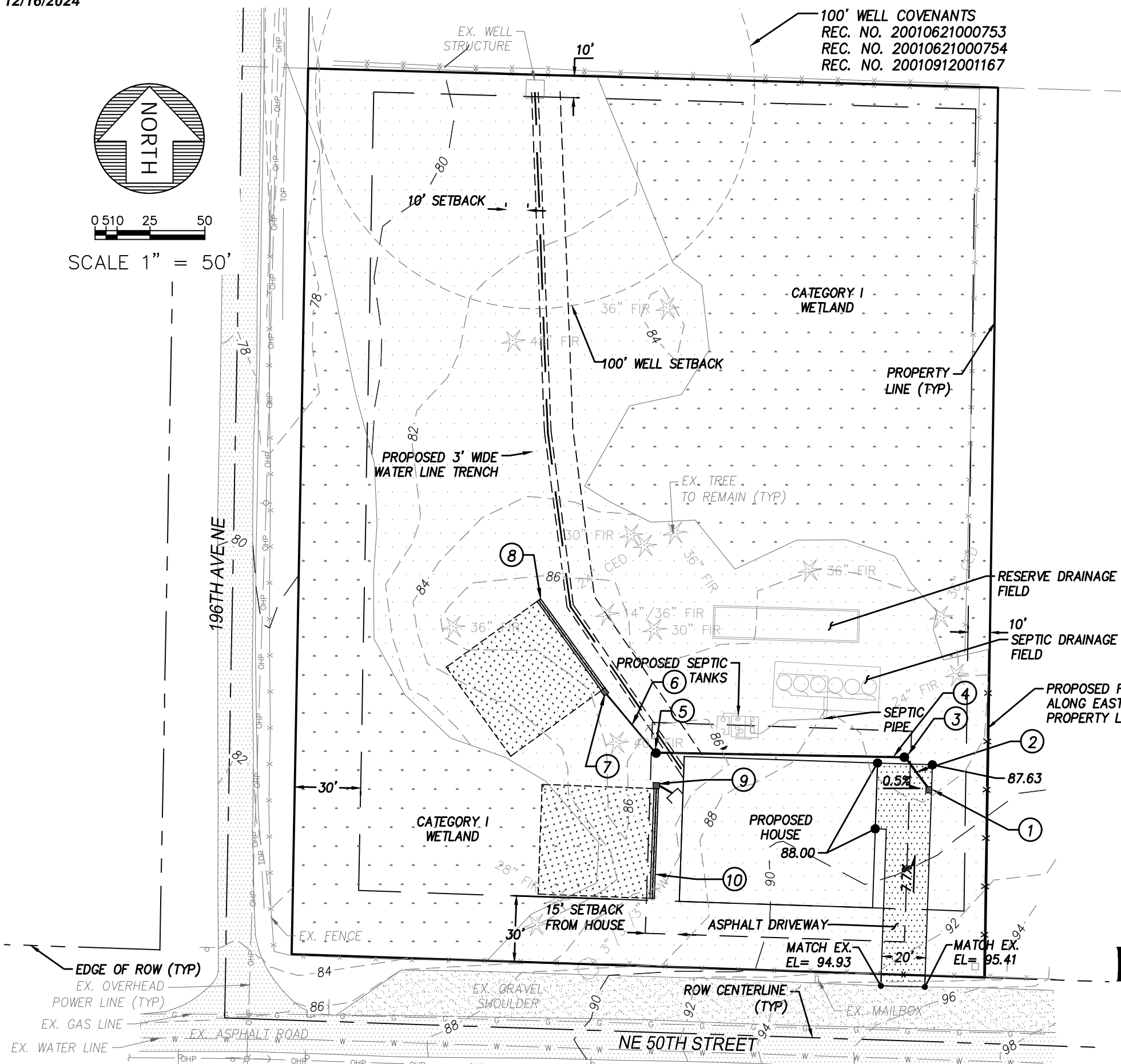
Fire Approval  
 Signature: \_\_\_\_\_  
 Date: \_\_\_\_\_

12/16/2024



0 510 25 50

SCALE 1" = 50'



**STORM KEYNOTES:**

- ① TYPE 1 CB W/ GRATE  
RIM = 87.58  
6" IE (NW) = 85.92
- ② 28 LF 6" PVC @ 2.0%
- ③ SDCO  
RIM = 87.88  
6" IE (SE) = 85.32
- ④ 113 LF 6" PVC @ 2%
- ⑤ SDCO  
RIM: 86.00  
IE: 83.06
- ⑥ 35 LF 6" PVC @ 1%
- ⑦ TYPE 1 CB W/SOLID LID  
RIM: 86.00  
IE: 82.70
- ⑧ 50 LF BASIC DISPERSION TRENCH  
W/ 50' VEGETATED FLOWPATH  
PERF. PIPE (LAVELED)  
IE: 82.70
- ⑨ TYPE 1 CB W/ SOLID LID  
RIM = 85.85  
IE = 82.30
- ⑩ 50 LF BASIC DISPERSION TRENCH  
W/ 50' VEGETATED FLOWPATH  
PERF. PIPE (LAVELED)  
IE: 85.34

**NOTE:**

PROVIDE VERTICAL OF AT LEAST 1.5 FT SEPARATION BETWEEN SEPTIC LINES AND STORM DRAINS PIPES

**ROOF/FOOTING DRAIN NOTE:**

DAYLIGHT ROOF AND FOOTING DRAINS TO EXISTING GRADE DOWNSTREAM OF SEPTIC DRAINFIELD VIA ROCK PAD.

**Encompass**  
ENGINEERING & SURVEYING

**GRADING & DRAINAGE PLAN**

MADDUKURI RESIDENCE  
PROJECT # 22585  
WITHIN SE SEC. 17, TWN 25N, RGE 06

Permit Number: **TBD** Parcel Number: **172506-9124**

Applicant Name: **JAGAN M. MADDUKURI**

Site Address: **XXXXX NE 50th St**

Engineering Scale: 1" = **50'**

Sheet **4** of **6**



12/16/2024

Residential Site Plan Template

Ref: KCC 21a.12.030  
 Max. Impervious Surface Allowed \_\_\_\_\_  
 Max. Bldg. Height Allowed \_\_\_\_\_  
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 Min. Blg. Setback From Street \_\_\_\_\_  
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 Min. Blg. Setback From Interior \_\_\_\_\_  
 Permit Center validation:  
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Engineering / Drainage Approval

Signature: \_\_\_\_\_  
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Critical Areas Approval

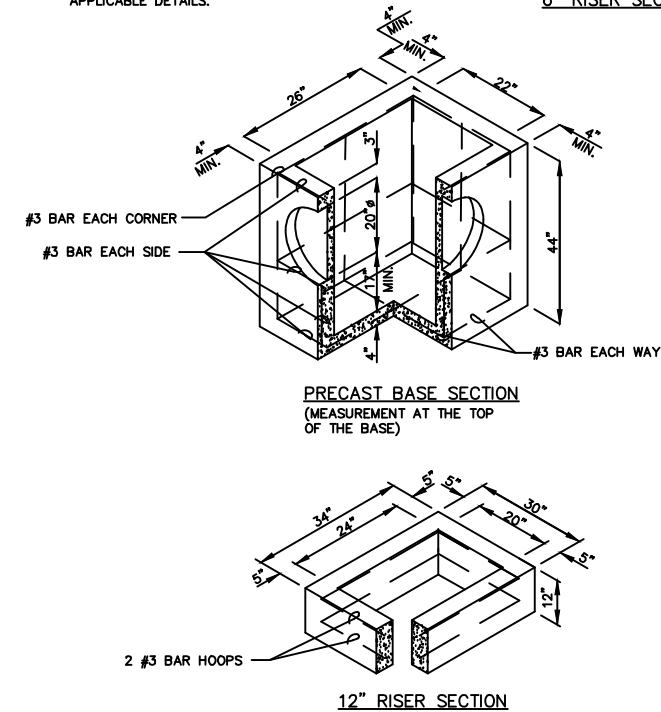
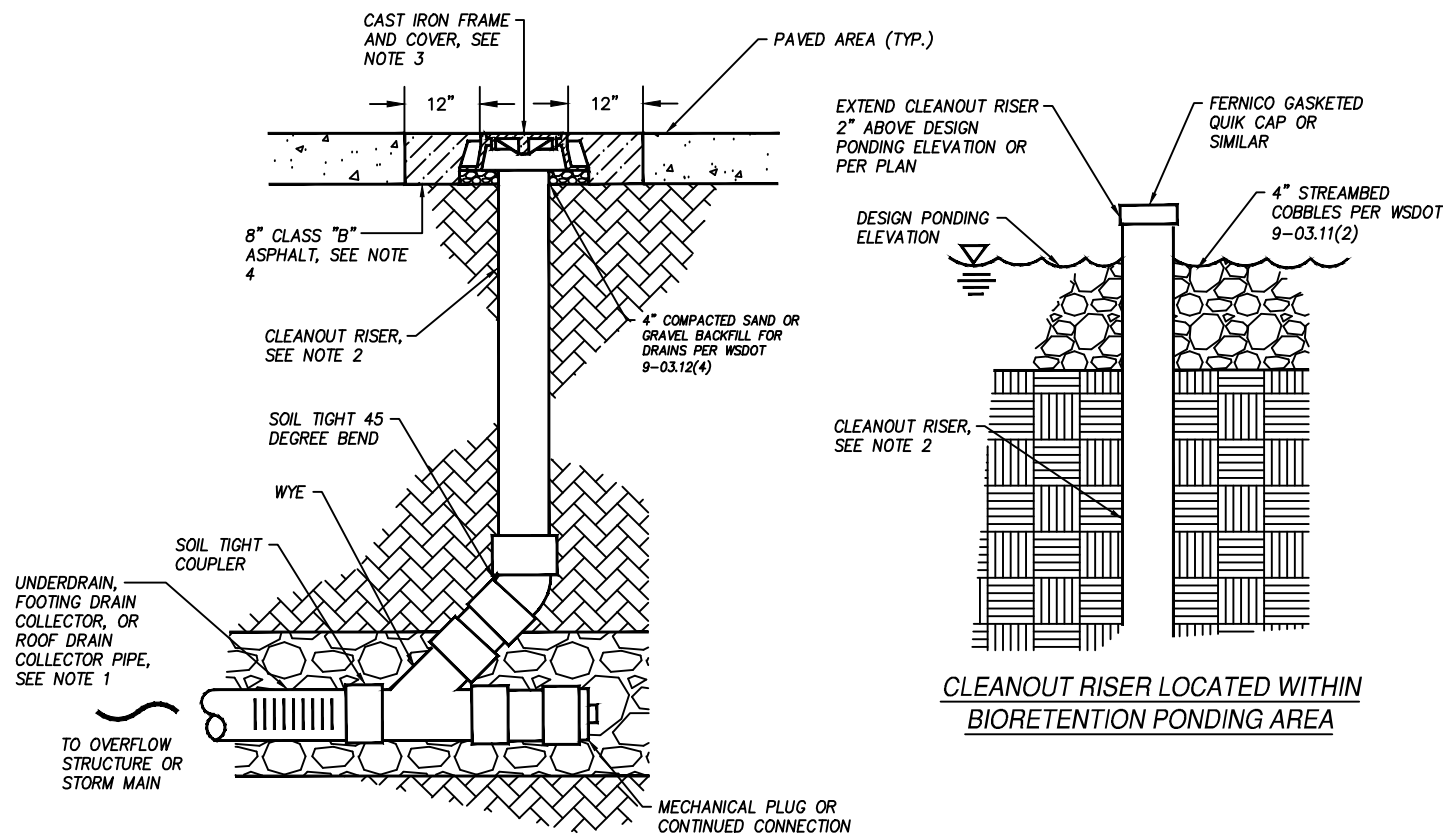
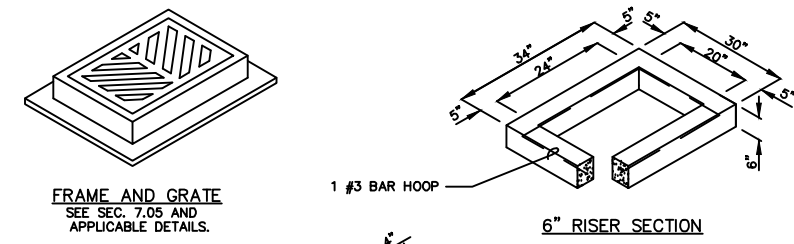
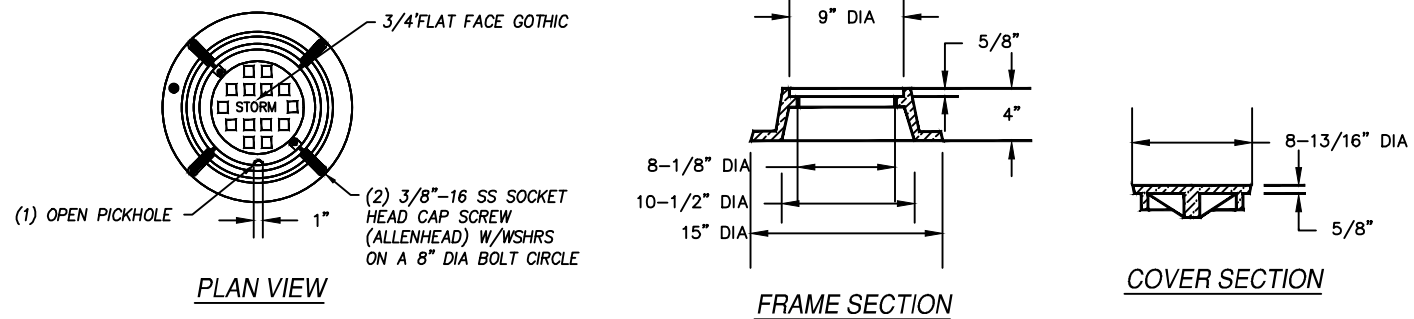
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Clearing / Grading Approval

Signature: \_\_\_\_\_  
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Fire Approval

Signature: \_\_\_\_\_  
 Date: \_\_\_\_\_



**NOTES:**

- DIAMETER TO BE 6-INCHES MINIMUM PRIVATE, 8-INCHES MINIMUM PUBLIC. UNDERDRAIN PIPE.
- CLEANOUT RISER SHALL BE SAME SIZE AND MATERIAL AS CONNECTED UNDERDRAIN, FOOTING DRAIN COLLECTOR, OR ROOF DRAIN COLLECTOR PIPE.
- FRAME AND COVER SHALL BE EJ PRODUCT NO. 00367549B01 OR APPROVED EQUAL. COVER TO BE LOCKING WITH ALLEN HEAD BOLT, MARKED "STORM".
- FOR CLEANOUTS FULLY OR PARTIALLY WITHIN UNPAVED AREAS OUTSIDE OF BIORETENTION PONDING AREA, POUR 8" THICK, 2'X2' SQUARE CONCRETE COLLAR AROUND FRAME. CONCRETE COLLAR SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI.

**GENERAL NOTES:**

- CLEANOUTS FOR UNDERDRAIN, FOOTING DRAIN COLLECTOR, AND ROOF DRAIN COLLECTOR PIPES SHALL BE INSTALLED AT A MINIMUM OF EVERY 100 FEET, AT EVERY 90 DEGREE OR SECOND 45 DEGREE BEND, AT THE END OF EVERY COLLECTOR PIPE, AND AT EACH END OF AN UNDERDRAIN PIPE NOT CONNECTED TO AN OVERFLOW STRUCTURE. CLEANOUTS SHALL BE INSTALLED TO ALLOW FOR MAINTENANCE ACCESS TO ALL PIPES.
- ALL FITTINGS SHALL BE SOIL TIGHT.
- CLEANOUT RISER SHALL BE LOCATED OUTSIDE OF BIORETENTION PONDING WHERE POSSIBLE.
- CLEANOUTS SHALL NOT BE LOCATED WITHIN THE STREET TRAVEL LANE, UNLESS OTHERWISE APPROVED BY THE CITY.

**STORM CLEANOUT DETAIL**  
NTS

**NOTES:**

- CATCH BASINS SHALL BE CONSTRUCTED IN ACCORDANCE WITH AASHTO M 199 UNLESS OTHERWISE SHOWN ON PLANS OR NOTED IN THE WSDOT/APWA STANDARD SPECIFICATIONS.
- AS AN ACCEPTABLE ALTERNATIVE TO REBAR, WELDED WIRE FABRIC HAVING A MIN. AREA OF 0.12 SQ. IN. PER FT. MAY BE USED. WELDED WIRE FABRIC SHALL COMPLY TO ASTM A497 (AASHTO M 221). WIRE FABRIC SHALL NOT BE PLACED IN KNOCKOUTS.
- ALL REINFORCED CAST-IN-PLACE CONCRETE SHALL BE CLASS 4000.
- PRECAST BASES SHALL BE FURNISHED WITH CUTOUTS OR KNOCKOUTS. KNOCKOUTS SHALL HAVE A WALL THICKNESS OF 2 IN. MIN. ALL PIPE SHALL BE INSTALLED IN FACTORY PROVIDED KNOCKOUTS. UNUSED KNOCKOUTS NEED NOT BE GROUTED IF WALL IS LEFT INTACT.
- KNOCKOUT OR CUTOUT HOLE SIZE IS EQUAL TO PIPE OUTER DIAM. PLUS CATCH BASIN WALL THICKNESS.
- ROUND KNOCKOUTS MAY BE ON ALL 4 SIDES, WITH MAX. DIAM. OF 20 IN. KNOCKOUTS MAY BE EITHER ROUND OR "D" SHAPE.
- THE MAX. DEPTH FROM THE FINISHED GRADE TO THE PIPE INVERT IS 5 FT.
- THE TAPER ON THE SIDES OF THE PRECAST BASE SECTION AND RISER SECTION SHALL NOT EXCEED 1/2" PER FT.
- CATCH BASIN FRAME AND GRATE SHALL BE IN ACCORDANCE WITH STANDARD SPECIFICATIONS AND MEET THE STRENGTH REQUIREMENTS OF FEDERAL SPECIFICATION RR-F-62IE. MATING SURFACES SHALL BE FINISHED TO ASSURE NON-ROCKING FIT WITH ANY COVER POSITION.
- FRAME AND GRATE MAY BE INSTALLED WITH FLANGE DOWN OR CAST INTO RISER.
- FOR CATCH BASINS IN PARKING LOTS REFER TO WSDOT/APWA STANDARD DWG. B-5.60-01.
- EDGE OF RISER OR BRICK SHALL NOT BE MORE THAN 2 IN. FROM VERTICAL EDGE OF CATCH BASIN WALL.
- SEE THE WSDOT/APWA STANDARD SPECIFICATIONS SECTION 9-05.15 FOR METAL CASTINGS REQUIREMENTS.

**TYPE I CATCH BASIN**  
NTS



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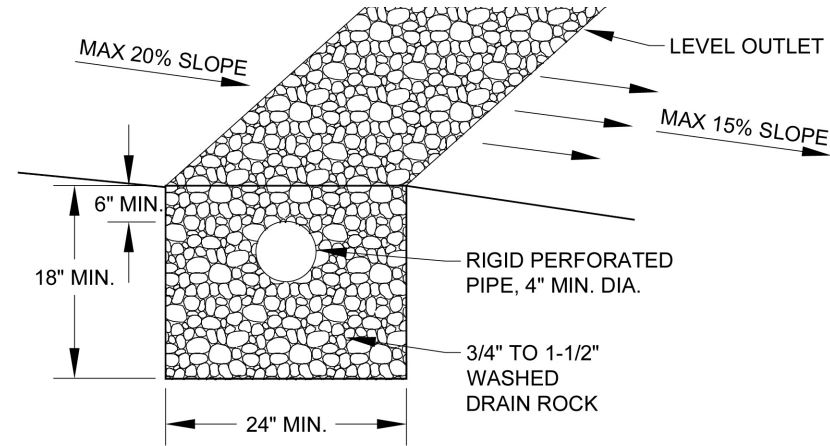
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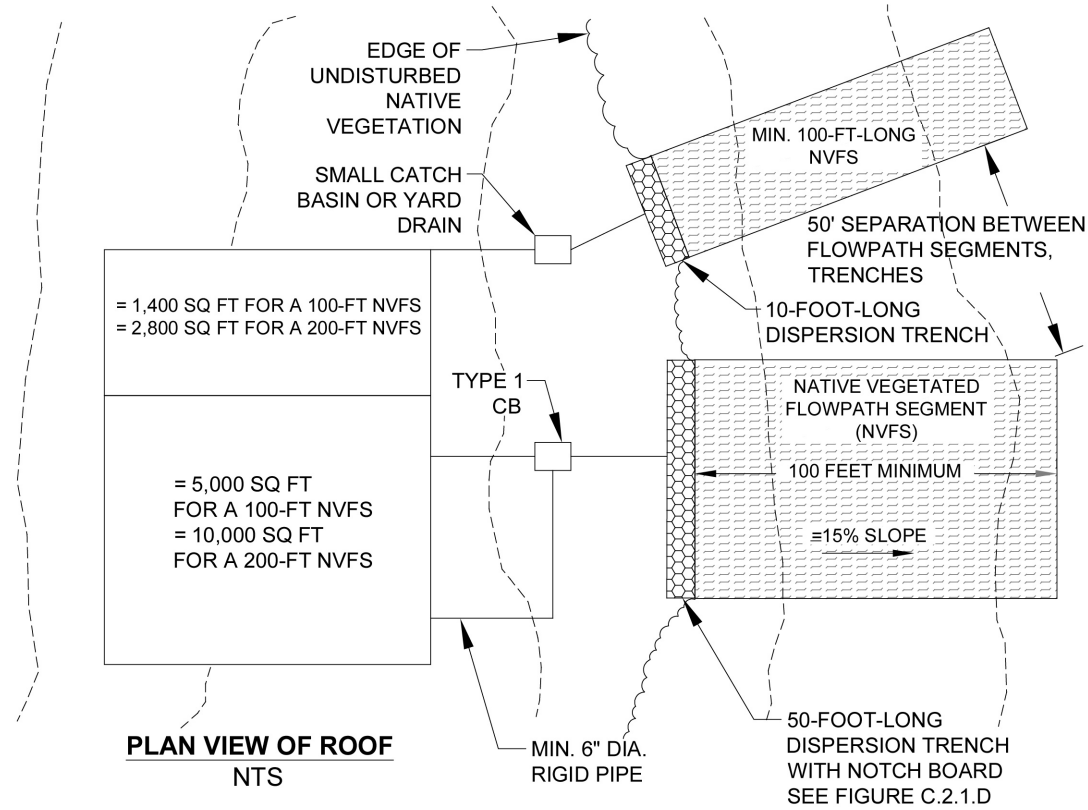
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**TRENCH SECTION**  
NTS



**PLAN VIEW OF ROOF**  
NTS

**DISPERSION TRENCH DETAIL**  
NTS

**Encompass**  
ENGINEERING & SURVEYING

**CONSTRUCTION DETAILS II**

MADDUKURI RESIDENCE

PROJECT # 22585

WITHIN SE SEC. 17, TWN 25N, RGE 06

Permit Number: **TBD**

Parcel Number: **172506-9124**

Applicant Name: **JAGAN M. MADDUKURI**

Site Address: **XXXXX NE 50th St**

Engineering Scale: 1" = **NTS**

Sheet **6** of **6**