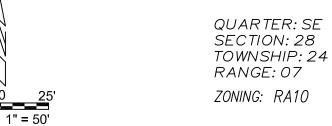
Department of Local Services Permitting Division		TYPE N TIC AREA	368	EXISTING CULVERT	50' 0	<u>50</u> '	QUARTER: SE SECTION: 28 TOWNSHIP: 24 RANGE: 07 ZONING: RA10
Residential Site Plan Templa 11" x 17"	te EXTENDS 150-	PED LINE	CAT III WETLAND		SCALE: 1" =	= 100'	
For Permitting Use Received Date	- 65 ARE	AQUATIC TA BUFFER			LOT 1 OF DAF BEG	AT S 1/4 COR SD SEC T	REC AF #7712010903 SD PLAT H WLY ALG S LN SD SEC 1074
Max. Bldg. Height Allowed 4 Min. Bldg. setback from Street 3 Min. Garage setback from Street 3	O FT O FT O FT	PROPOSED- PROPOSED- PROPOSED- PRIVEWAY	PROPOSED S S HOUSE S S		ELY MGN 38-31-57 M/L TO W MGN SD F M/L TO T PLat Block Plat Lot:	SD RR R/W 3000 FT TAF 7 W 3106.57 FT FR NE CO VLY MGN PRESTON—FALL (RD TO S LN SD SEC TH W POB LESS PS P & L R/W k: <u>HEET INDEX:</u>	W & TPOB TH NLY & ELY ALG P BEING S 566.03 FT & S OR SD SEC TH DUE E 368 FT CITY RD TH SLY & WLY ALG W WLY ALG S LN SD SEC 361 FT W
Building Approval Signature Date Engineering / Drainage Appro	STEEP/SLOPE/ HAZARD/AREA		CAT III ETLAND	CUT APPROX 320 CY.FOR SIGHT DISTANCE 50' STEEP	1. 2. 3. 4. 5. 6. 7. 8.	SITE PLAN 1"=100' SITE PLAN 1"=50' SITE PLAN 1"=20' STORMWATER DETAILS TESC PLAN TESC DETAILS SIGHT DISTANCE ANALYSIS SIGHT DISTANCE ANALYSIS	Know what's below. Call 811 two business days before you dig.
Signature	DRAINFIENDS X			SLOPE BUFFER	PRESTON FA	OURS WERE DETERMINED FROM L ALL CITY RD DETERMINED FROM EAS FROM CADS22-0019	LIDAR (KINGCO RAGING RIVER 2011) AERIAL PHOTOS
Critical Areas Approval Signature Date				PROPOSED CULVERT	EIN 33 SE NC	ONTACT/ OWNER: NAR NOVION 116 NE 120TH ST FATTLE, WA 98125 OVION.E@GMAIL.COM	
Clearing / Grading Approval Signature Date		POUS A			PR HA 46.	06) 851-7922 PEPARED BY: NRBERT ENGINEERS 20 200TH ST. SW, SUITE B	HAR HAR DE LA COLLEGE DE LA CO
Fire Approval Signature Date					PH	NNWOOD, WA 98036 IONE: (206) 371—3079 SAHARBERT@OUTLOOK.COM	A7529 CONSTERED ON THE STORY OF
Permit Number#	Parcel Number <u>282407-904</u>	5 Applicant Name	EINAR NOVION	Site 7XXX PRESTON-FALL CITY RD SE, ISSA	QUAH, WA 98027	Engineering Scale: 1" =100'	Sheet1 of8

King County		10. 838/ 10. 838/		376	SHORELINE MANAGEMENT DESIGNATION: CONSERVANCY	Ŋ
Department of Local Services Permitting Division	\$2///	PROPOSED SPLASH- BLOCK (IYP)	3 3 3 3 3		GONSEN VANCE OF	25' 0
Residential Site Plan Template 11" x 17"		35 Px / 35 1 20		PROPOSED HOUSE		SCALE:
For Permitting Use] /// /////			WINDOSE TO THE PARTY OF THE PAR		<u>LEGAL I</u>
Received Date			PROP. GARAGE		SÎEÊP SLOPE HAZARD	LOT 1 (DAF BE
Max. Impervious Surface Allowed15% Max. Bldg. Height Allowed40 FT		50 BUFF	DR	RIVEWAY 8		FT M/L ELY MG 38-31-
Min. Bldg. setback from Street 30 FT Min. Garage setback from Street 30 FT		* * *	* * * * * * * * * * * * * * * * * * *	16-15		M/L TO MGN SE
Min. Garage setback from Street 30 FT Min. Bldg. setback from Interior 10 FT		STEEP W	CAT III V			M/L TO
Signature		HAZARD		PROPOSED		PLat BI
Date			7300 E B	PLOW PATH		Plat Lo
Building Approval						LOT ARE PROPOSI PROPOSI
Signature			33	500		PROPOSI
Date				50'BUFRER		TOTAL P
Engineering / Drainage Approval				CUT A	PRODY ///	MAXIMUN
Signature	50 SUL		CAT III	320 C	TY FOR DISTANCE	2 FT CO PRESTON
Date	STEEP SLOPE HAZARD		WETLAND			CRITICAL
Critical Areas Approval			1312			
Signature		396				
Date		199 199				
Clearing / Grading Approval	23	22 W				
Signature		zz W		1 1566		
Date			7/55/	PROPOSED 12 HDRE CULVER		
Fire Approval)		DRIVEWAY EI	NTRANCE	
Signature				3-003		
Date		//////////////////////////////////////	<u> </u>			
Permit Number# Parcel	Number <u>282407–9045</u>	_ Applicant Name	EINAR NOVION	Site 7XXX PRESTO	N-FALL CITY RD SE, ISSAQ	NUAH, WA 980



DESCRIPTION:

OF KC SHORT PLAT 677127 REC AF #7712010903 SD PLAT EG AT S 1/4 COR SD SEC TH WLY ALG S LN SD SEC 1074 TO ELY MGN OF N P RR R/W & TPOB TH NLY & ELY ALG GN SD RR R/W 3000 FT TAP BEING S 566.03 FT & S -57 W 3106.57 FT FR NE COR SD SEC TH DUE E 368 FT O WLY MGN PRESTON—FALL CITY RD TH SLY & WLY ALG W SD RD TO S LN SD SEC TH WLY ALG S LN SD SEC 361 FT O TPOB LESS PS P & L R/W

Block:

IMPERVIOUS AREA	
LOT AREA:	218,671 SF
PROPOSED HOUSE ROOF:	3,613 SF
PROPOSED DRIVEWAY:	4,913 SF
PROPOSED WALKWAY:	112 SF
TOTAL PROPOSED IMPERVIOUS:	8,638 SF
PERCENT IMPERVIOUS:	4.0%
MAXIMUM ALLOWED:	15%

ONTOURS WERE DETERMINED FROM LIDAR (KINGCO RAGING RIVER 2011) N FALL CITY RD DETERMINED FROM AERIAL PHOTOS AREAS FROM CADS22-0019

CONTACT/ OWNER: EINAR NOVION 3316 NE 120TH ST SEATTLE, WA 98125 NOVION.E@GMAIL.COM (206) 851-7922

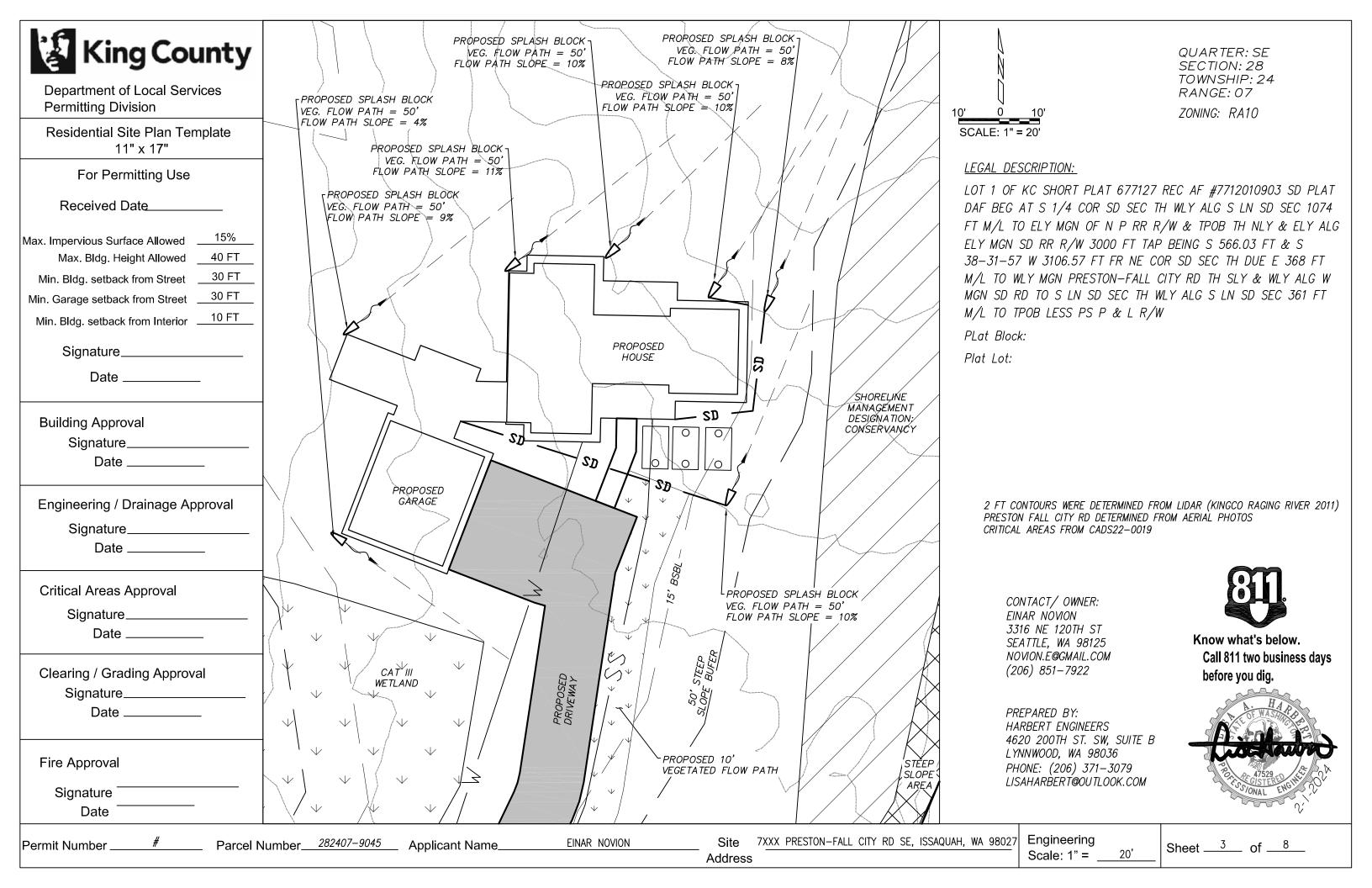
PREPARED BY: HARBERT ENGINEERS 4620 200TH ST. SW, SUITE B LYNNWOOD, WA 98036 PHONE: (206) 371-3079 LISAHARBERT@OUTLOOK.COM



Know what's below. Call 811 two business days before you dig.



Engineering Sheet ____2 of ___8 Scale: 1" =

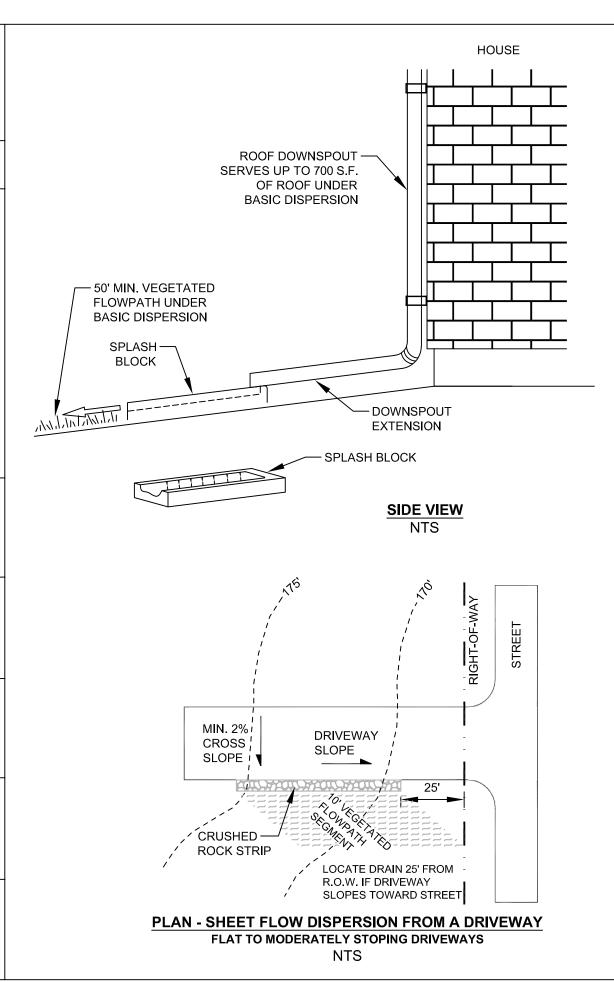


King County Department of Local Services Permitting Division Residential Site Plan Template 11" x 17" For Permitting Use Received Date__ 15% Max. Impervious Surface Allowed Max. Bldg. Height Allowed 40 FT 30 FT Min. Bldg. setback from Street 30 FT Min. Garage setback from Street 10 FT Min. Bldg. setback from Interior _ Signature_____ Date _____ **Building Approval** Signature_ Date _____ Engineering / Drainage Approval Signature____ Date _____ Critical Areas Approval Signature_____ Date _____ Clearing / Grading Approval Signature____ Date _____ Fire Approval

Signature

Permit Number _

Date



EINAR NOVION

Parcel Number <u>282407-9045</u> Applicant Name_

QUARTER: SE SECTION: 28 TOWNSHIP: 24 RANGE: 07 ZONING: RA10

LEGAL DESCRIPTION:

LOT 1 OF KC SHORT PLAT 677127 REC AF #7712010903 SD PLAT DAF BEG AT S 1/4 COR SD SEC TH WLY ALG S LN SD SEC 1074 FT M/L TO ELY MGN OF N P RR R/W & TPOB TH NLY & ELY ALG ELY MGN SD RR R/W 3000 FT TAP BEING S 566.03 FT & S 38-31-57 W 3106.57 FT FR NE COR SD SEC TH DUE E 368 FT M/L TO WLY MGN PRESTON-FALL CITY RD TH SLY & WLY ALG W MGN SD RD TO S LN SD SEC TH WLY ALG S LN SD SEC 361 FT M/L TO TPOB LESS PS P & L R/W

PLat Block:

Plat Lot:

CONTACT/ OWNER: EINAR NOVION 3316 NE 120TH ST SEATTLE, WA 98125 NOVION.E@GMAIL.COM (206) 851-7922

PREPARED BY:
HARBERT ENGINEERS
4620 200TH ST. SW, SUITE B
LYNNWOOD, WA 98036
PHONE: (206) 371-3079
LISAHARBERT@OUTLOOK.COM





Site 7XXX PRESTON-FALL CITY RD SE, ISSAQUAH, WA 98027
Address Scale: 1" = ____20'
Sheet __4 of __8

King County

Department of Local Services Permitting Division

Residential Site Plan; Temporary **Erosion & Sedimentation Control** (TESC) Template - 11" x 17"

RECOMMENDED CONSTRUCTION SEQUENCE

- 1. Hold the pre-construction meeting, if required
- 2. Post sign with name and phone number of ESC Supervisor (may be consolidated with the required notice of construction sign).
- 3. Flag or fence clearing limits
- 4. Install catch basin protection, if required
- 5. Grade and install construction entrance(s)
- 6. Install perimeter protection (silt fence, brush barrier, etc.)
- Construct sediment ponds and traps, if required
- Grade and stabilize construction roads
- 9. Construct surface water controls (interceptor kikes, pipe slope drains, etc.) simultaneously with clearing and grading for project development
- 10. Maintain erosion control measures in accordance with King Count standards and manufacturer's recommendations
- 1. Relocate erosion control measure, or install new measure so that as site conditions change, the erosion and sediment control is always in accordance with the King County erosion and Sedimentation Control Standards
- 2. Cover all areas that will be unworked for more than seven days during the dry season or two days during the wet season with straw, wood fiber, mulch, compost, plastic sheeting, or equivalent
- 13. Stabilize all areas within seven days of reaching final grade
- 4. Seed, sod, stabilize, or cover any areas to remain unworked for more than 30 days
- 15. Upon completion of the project, stabilize all disturbed areas and remove BMP's if appropriate.

Engineering / Drainage Approval

Signature____ Date _____

Clearing / Grading Approval

Permit Number _____

Signature_____ Date _____

_#_____ Parcel Number____282407-9045___ Applicant Name_

EINAR NOVION

<u>ک</u>ړ.

WETLAND

WETLAND

Site 7XXX PRESTON-FALL CITY RD SE, ISSAQUAH, WA 98027 Address

TEMPORARY

(SEE DETAIL)

ENTRANCE

CONSTRUCTION

TEMPORARY STOCKPILE , FOR TOPSOIL AND DUFF

CUT APPROX.

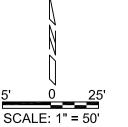
320 CY FOR

SIGHT DISTANCE

COVER WITHIN 24 H COVER WITHIN 24 HOURS

> Engineering Scale: 1" =

Sheet ____5 of ____8



LEGAL DESCRIPTION:

LOT 1 OF KC SHORT PLAT 677127 REC AF #7712010903 SD PLAT DAF BEG AT S 1/4 COR SD SEC TH WLY ALG S LN SD SEC 1074 FT M/L TO ELY MGN OF N P RR R/W & TPOB TH NLY & ELY ALG ELY MGN SD RR R/W 3000 FT TAP BEING S 566.03 FT & S 38-31-57 W 3106.57 FT FR NE COR SD SEC TH DUE E 368 FT M/L TO WLY MGN PRESTON-FALL CITY RD TH SLY & WLY ALG W MGN SD RD TO S LN SD SEC TH WLY ALG S LN SD SEC 361 FT M/L TO TPOB LESS PS P & L R/W

PLat Block:

Plat Lot:

LEGEND:

: PLASTIC COVERING

----- : SILT FENCE

: LIMITS OF SITE DISTURBANCE

2 FT CONTOURS WERE DETERMINED FROM LIDAR (KINGCO RAGING RIVER 2011) PRESTÒN FALL CITY RD DETERMINÉD FROM AERIAL PHOTOS

NOTE: THE ALLOWED DISTURBED AREA WITHIN A WETLAND BUFFER, NOT INCLUDING DRIVEWAY AND SPETIC DRAINFIELDS, IS 10% OR 21,867 SF.

QUARTER: SE SECTION: 28 TOWNSHIP: 24 RANGE: 07

ZONING: RA10

PROPOSED DISTURBED AREA (NOT INCL. DRIVEWAY AND SEPTIC DRAINFIELDS) = 14,892 SF

CONTACT / OWNER: EINAR NOVION 3316 NE 120TH ST SEATTLE, WA 98125 NOVION.E@GMAIL.COM (206) 851-7922

Know what's below. Call 811 two business days before you dig.

PREPARED BY: HARBERT ENGINEERS 4620 200TH ST. SW, SUITE B

LYNNWOOD, WA 98036 PHONE: (206) 371-3079 LISAHARBERT@OUTLOOK.COM



Department of Local Services Permitting Division

Residential Site Plan; Temporary Erosion & Sedimentation Control (TESC) Template - 11" x 17"

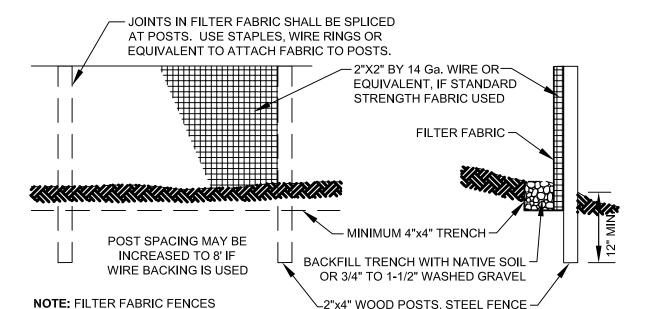
RECOMMENDED CONSTRUCTION SEQUENCE

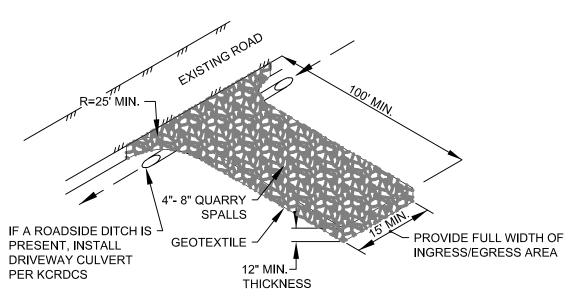
- 1. Hold the pre-construction meeting, if required
- 2. Post sign with name and phone number of ESC Supervisor (may be consolidated with the required notice of construction sign).
- 3. Flag or fence clearing limits
- 4. Install catch basin protection, if required
- 5. Grade and install construction entrance(s)
- Install perimeter protection (silt fence, brush barrier, etc.)
- Construct sediment ponds and traps, if required
- 8. Grade and stabilize construction roads
- Construct surface water controls (interceptor kikes, pipe slope drains, etc.) simultaneously with clearing and grading for project development
- Maintain erosion control measures in accordance with King Count standards and manufacturer's recommendations
- 11. Relocate erosion control measure, or install new measure so that as site conditions change, the erosion and sediment control is always in accordance with the King County erosion and Sedimentation Control Standards
- 12. Cover all areas that will be unworked for more than seven days during the dry season or two days during the wet season with straw, wood fiber, mulch, compost, plastic sheeting, or equivalent
- 13. Stabilize all areas within seven days of reaching final grade
- 14. Seed, sod, stabilize, or cover any areas to remain unworked for more than 30 days
- Upon completion of the project, stabilize all disturbed areas and remove BMP's if appropriate.

Engineering	/ Drainage	Approval

Signature_____
Date _____

Clearing / Grading Approval
Signature_____
Date _____





POSTS, REBAR, OR EQUIVALENT

- PER KING COUNTY ROAD DESIGN AND CONSTRUCTION STANDARDS (KCRDCS), DRIVEWAYS SHALL BE PAVED TO EDGE OF R-O-W PRIOR TO INSTALLATION OF THE CONSTRUCTION ENTRANCE TO AVOID DAMAGING OF THE ROADWAY.
- IT IS RECOMMENDED THAT THE ENTRANCE BE CROWNED SO THAT RUNOFF DRAINS OFF THE PAD.
- HOG FUEL MAY BE USED INSTEAD OF GRAVEL.

NOTES:

SHALL BE INSTALLED ALONG

CONTOURS WHENEVER POSSIBLE

AFTER TEST PITS HAVE BEEN TESTED, TEMP ACCESS ROAD SHALL BE REMOVED.





Call 811 two business days before you dig.

LEGAL DESCRIPTION:

LOT 1 OF KC SHORT PLAT 677127 REC AF #7712010903 SD PLAT DAF BEG AT S 1/4 COR SD SEC TH WLY ALG S LN SD SEC 1074 FT M/L TO ELY MGN OF N P RR R/W & TPOB TH NLY & ELY ALG ELY MGN SD RR R/W 3000 FT TAP BEING S 566.03 FT & S 38-31-57 W 3106.57 FT FR NE COR SD SEC TH DUE E 368 FT M/L TO WLY MGN PRESTON-FALL CITY RD TH SLY & WLY ALG W MGN SD RD TO S LN SD SEC TH WLY ALG S LN SD SEC 361 FT M/L TO TPOB LESS PS P & L R/W

Plat Lot:

PLat Block:

CONTACT/ OWNER: EINAR NOVION 3316 NE 120TH ST SEATTLE, WA 98125 NOVION.E@GMAIL.COM (206) 851-7922

PREPARED BY:
HARBERT ENGINEERS
4620 200TH ST. SW, SUITE B
LYNNWOOD, WA 98036
PHONE: (206) 371-3079
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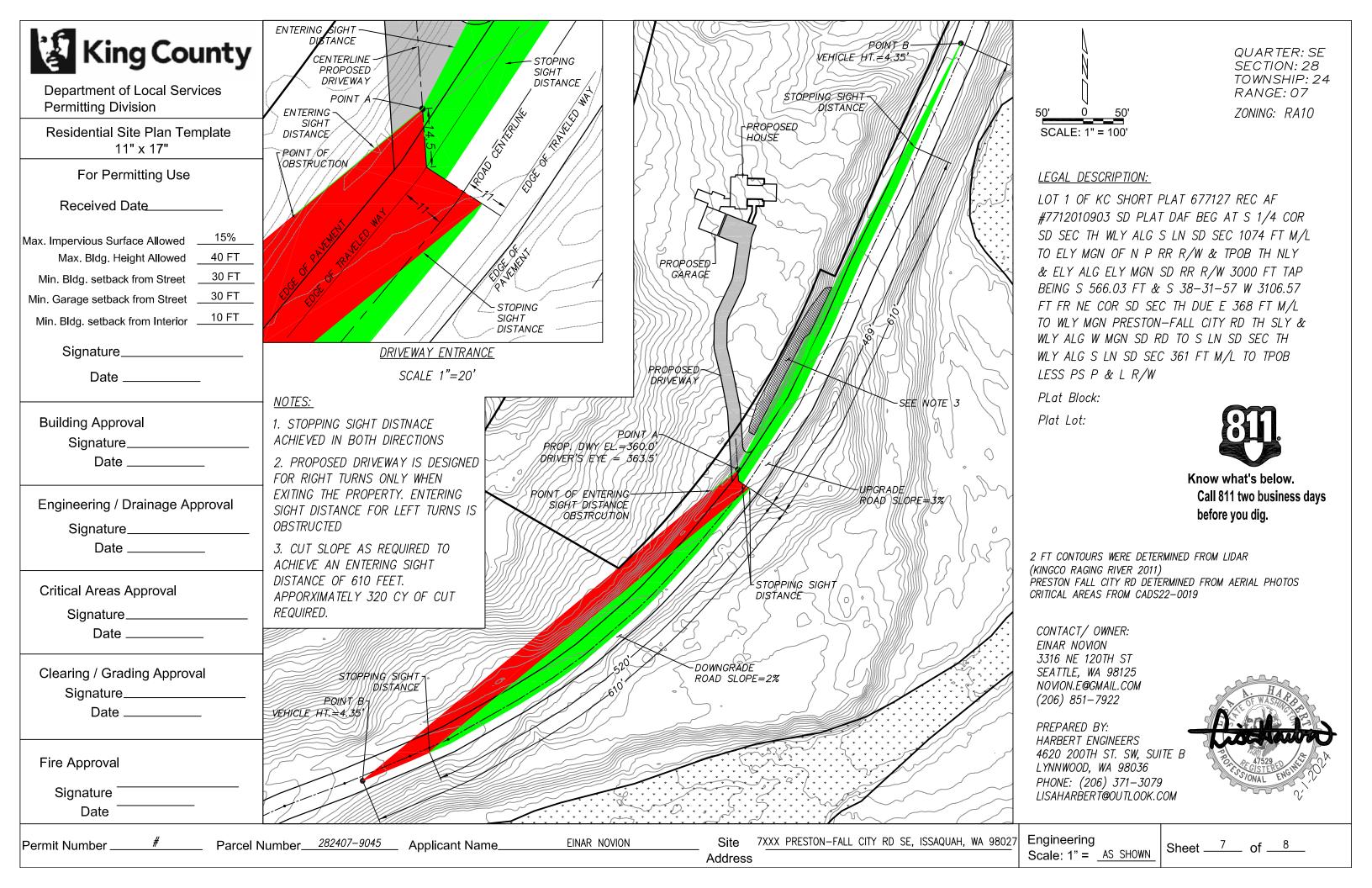


Permit Number _____# Parcel Number <u>282407-9045</u> Applicant Name <u>EINAR NOVION</u> Site 7XXX PRESTON-FALL CITY RD SE, ISSAQUAH, WA 98027 Address

Engineering

Scale: 1" = 50

Sheet __6 of __8



King County															PROPOSEL DRIVEWAY ENTERLIN	/
Department of Local Services Permitting Division	400 -	2+00		3-	+00 		4+0	0	5-	-00 	6+0	00 	7+00	1		
Residential Site Plan Template 11" x 17"	390 - 380 - 370 -	-OB	IECT HEIGHT							VERTICAL SIGHT DIS	TANCE			VEHICLE EYE HEIGHT		_
For Permitting Use	360 - 350 -	4.35										PROFILE OF PRESTON-FALL CIT	/ RD SF			
Received Date	340 - 330 -								——61 <i>(</i>			FILESTON-TALL CIT	ND SL		3.5	
Max. Impervious Surface Allowed 15% Max. Bldg. Height Allowed 40 FT	320 - 310 -															
Min. Bldg. setback from Street 30 FT Min. Garage setback from Street 30 FT	300 -	2+00		3-	+00		4+0	0	5-	-00	6+0	00	7+00		8+00 STATION	
Min. Bldg. setback from Interior10 FT																
Signature Date	PROP DRIVE	EWA Y														
	CENTE	KLINE 		9+00		10+	00	1:	+00		12+00	1:	3+00	14	+00	
Building Approval Signature			VEHICLE EYE HEIGHT												40	90
Date							-VERTIC	CAL SIGHT DISTANCE						OBJECT HEI	$+37$ $GHT_1 + 36$	70 50
Engineering / Drainage Approval Signature	3.50						ROFILE RESTON	OF I-FALL CITY RD SE							34	10
Date	-	-							-610-						4. 31 -125 31 32 33	20
Critical Areas Approval	8+	·00		9+00		10+	00	1:	+00		12+00	1:	3+00	14	+00	
Signature Date		TION DESCRIP	TION!							OLIV	ARTER: SE	ROAD GRADE DET	ERMINED FI	ROM LIDAR (KINGCO RAGIN	IG RIVER 201	<u> </u>
Clearing / Grading Approval Signature Date	LOT 1 SEC TH ELY AL NE CO.	OF KC SI H WLY AL LG ELY M R SD SEC	HORT PLAT 67 G S LN SD SE GN SD RR R/ C TH DUE E 3	EC 1074 F W 3000 F 68 FT M/L	T M/L TO EI TAP BEING . TO WLY MO	LY MGN OF N S 566.03 F1 GN PRESTON—	P RR & S FALL (F BEG AT S 1/4 COR R/W & TPOB TH NL 38—31—57 W 3106.5 CITY RD TH SLY & W /L TO TPOB LESS PS	Y & 7 FT I LY AL	SEC TOW RAN FR ZONII G CONT,	TTION: 28 VNSHIP: 22 NGE: 07 NG: RA10 ACT/ OWNER:	4 PREPARED			HAR BAR	<u>.</u>
Fire Approval Signature	R/W PLat E	Block:	O J LIV JU J.	LO III WL.	ALG 3 LIV	SU SEC SUI	i i ivi/	L IO II OU LLOO FO	i oc	3316 SEATT NOVIC	? NOVION NE 120TH ST TLE, WA 9812 DN.E@GMAIL.CO 851—7922	25 LYNNWOOD,	H ST. SW, WA 9803 D6) 371—3	SUITE B	529 ENGINE	ノ
Permit Number# Parcel N	Number_		9045 Applio	cant Name)	EINAR NOVION		Site 7XXX Address	PRESTO	N-FALL CITY RD SE, IS			50'	Sheet8 of	8	