



Department of Local Services  
Permitting Division

Residential Site Plan Template  
11" x 17"

For Permitting Use

Received Date \_\_\_\_\_

Max. Impervious Surface Allowed	15%
Max. Bldg. Height Allowed	40 FT
Min. Bldg. setback from Street	30 FT
Min. Garage setback from Street	30 FT
Min. Bldg. setback from Interior	10 FT

Signature \_\_\_\_\_

Date \_\_\_\_\_

Building Approval

Signature \_\_\_\_\_

Date \_\_\_\_\_

Engineering / Drainage Approval

Signature \_\_\_\_\_

Date \_\_\_\_\_

Critical Areas Approval

Signature \_\_\_\_\_

Date \_\_\_\_\_

Clearing / Grading Approval

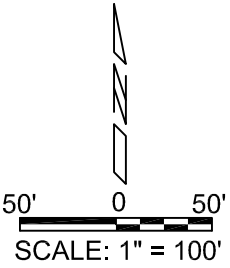
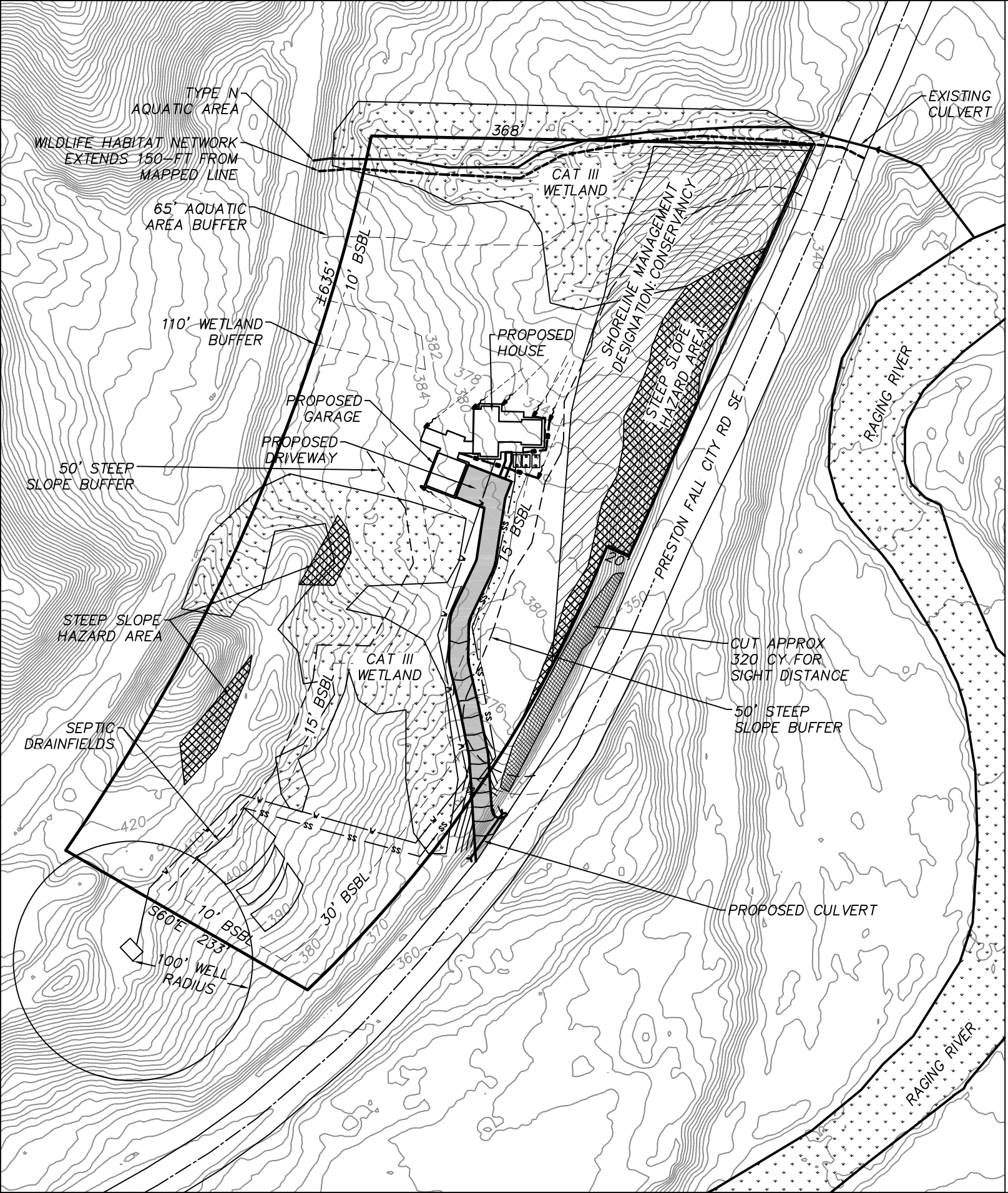
Signature \_\_\_\_\_

Date \_\_\_\_\_

Fire Approval

Signature \_\_\_\_\_

Date \_\_\_\_\_



QUARTER: SE  
SECTION: 28  
TOWNSHIP: 24  
RANGE: 07  
ZONING: RA10

LEGAL DESCRIPTION:

LOT 1 OF KC SHORT PLAT 677127 REC AF #7712010903 SD PLAT DAF BEG AT S 1/4 COR SD SEC TH WLY ALG S LN SD SEC 1074 FT M/L TO ELY MGN OF N P RR R/W & TPOB TH NLY & ELY ALG ELY MGN SD RR R/W 3000 FT TAP BEING S 566.03 FT & S 38-31-57 W 3106.57 FT FR NE COR SD SEC TH DUE E 368 FT M/L TO WLY MGN PRESTON-FALL CITY RD TH SLY & WLY ALG W MGN SD RD TO S LN SD SEC TH WLY ALG S LN SD SEC 361 FT M/L TO TPOB LESS PS P & L R/W

Plat Block:

Plat Lot:

SHEET INDEX:

1. SITE PLAN 1"=100'
2. SITE PLAN 1"=50'
3. SITE PLAN 1"=20'
4. STORMWATER DETAILS
5. TESC PLAN
6. TESC DETAILS
7. SIGHT DISTANCE ANALYSIS
8. SIGHT DISTANCE ANALYSIS

2 FT CONTOURS WERE DETERMINED FROM LIDAR (KINGCO RAGING RIVER 2011)  
PRESTON FALL CITY RD DETERMINED FROM AERIAL PHOTOS  
CRITICAL AREAS FROM CADS22-0019

CONTACT/ OWNER:

EINAR NOVION  
3316 NE 120TH ST  
SEATTLE, WA 98125  
NOVION.E@GMAIL.COM  
(206) 851-7922

PREPARED BY:

HARBERT ENGINEERS  
4620 200TH ST. SW, SUITE B  
LYNNWOOD, WA 98036  
PHONE: (206) 371-3079  
LISAHARBERT@OUTLOOK.COM



Know what's below.  
Call 811 two business days  
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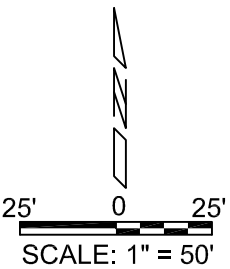
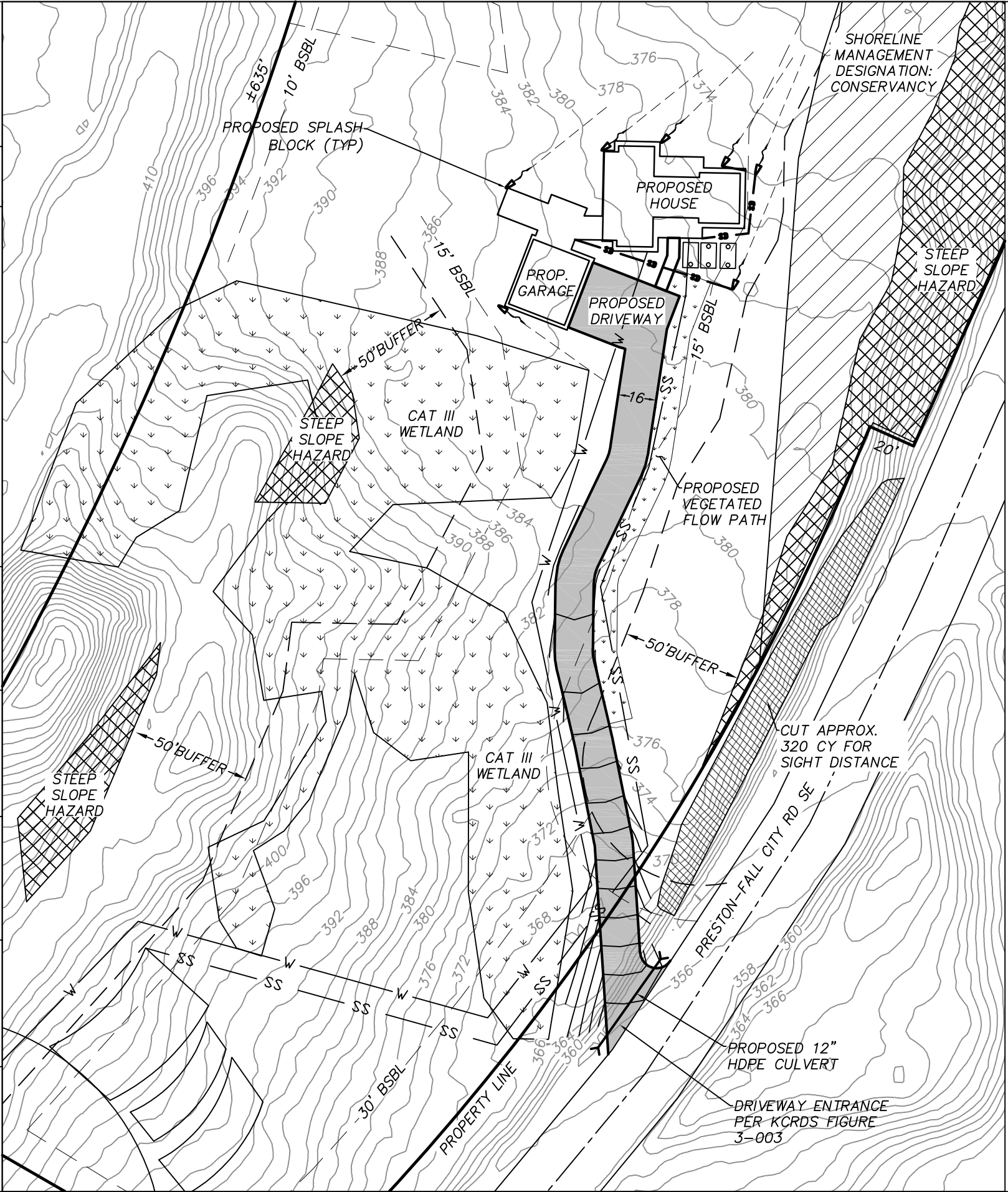
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Plat Block:

Plat Lot:

<b>IMPERVIOUS AREA</b>	
LOT AREA:	218,671 SF
PROPOSED HOUSE ROOF:	3,613 SF
PROPOSED DRIVEWAY:	4,913 SF
PROPOSED WALKWAY:	112 SF
TOTAL PROPOSED IMPERVIOUS:	8,638 SF
PERCENT IMPERVIOUS:	4.0%
MAXIMUM ALLOWED:	15%

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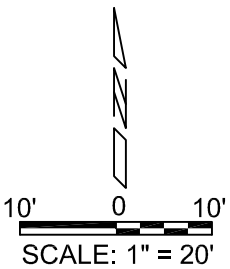
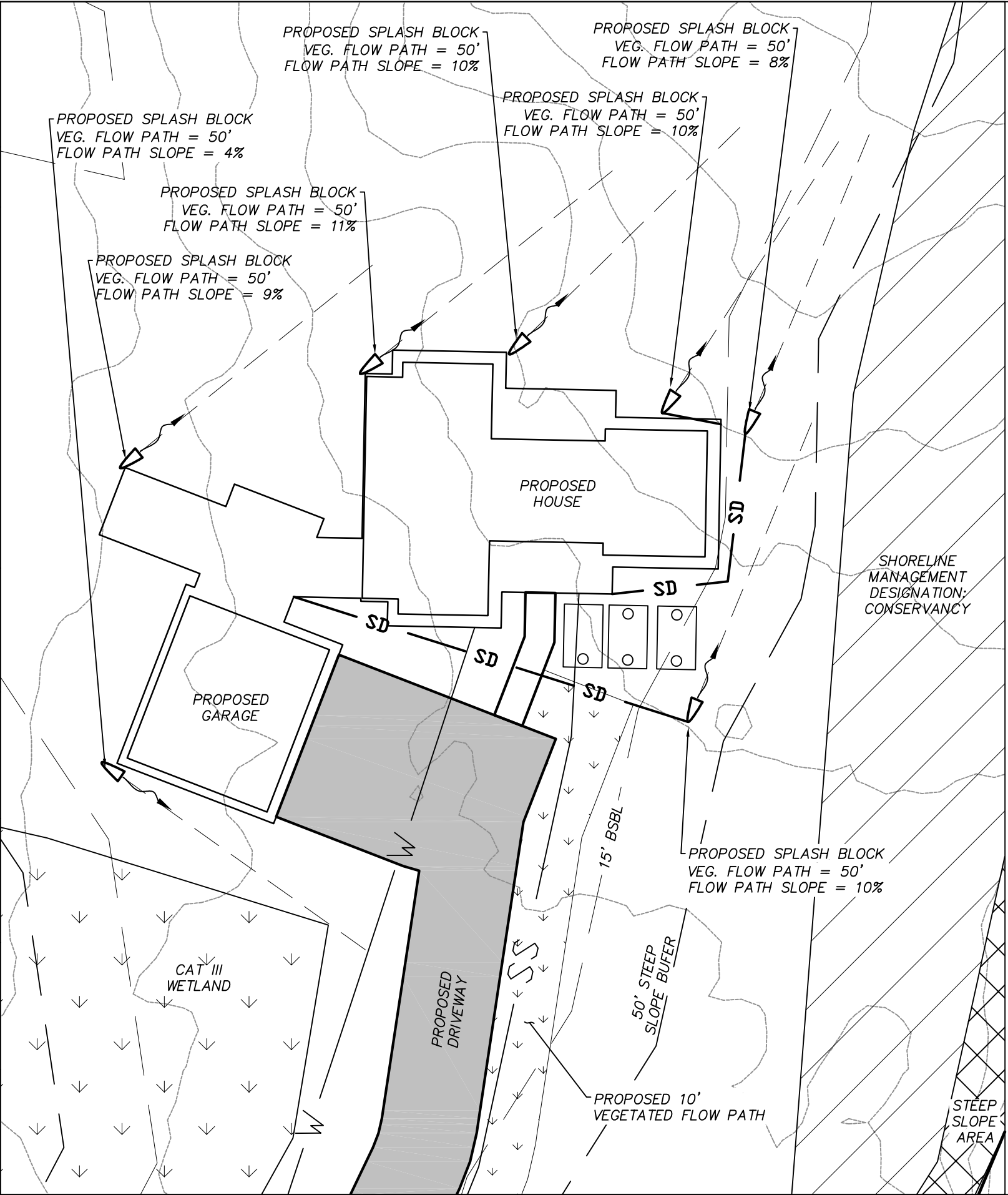
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Permit Number \_\_\_\_\_ # \_\_\_\_\_ Parcel Number 282407-9045 Applicant Name EINAR NOVION Site Address 7XXX PRESTON-FALL CITY RD SE, ISSAQUAH, WA 98027

Engineering  
Scale: 1" = 20'

Sheet 3 of 8



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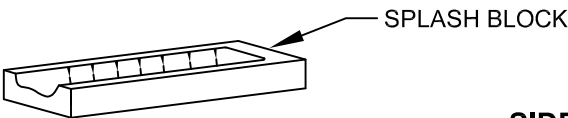
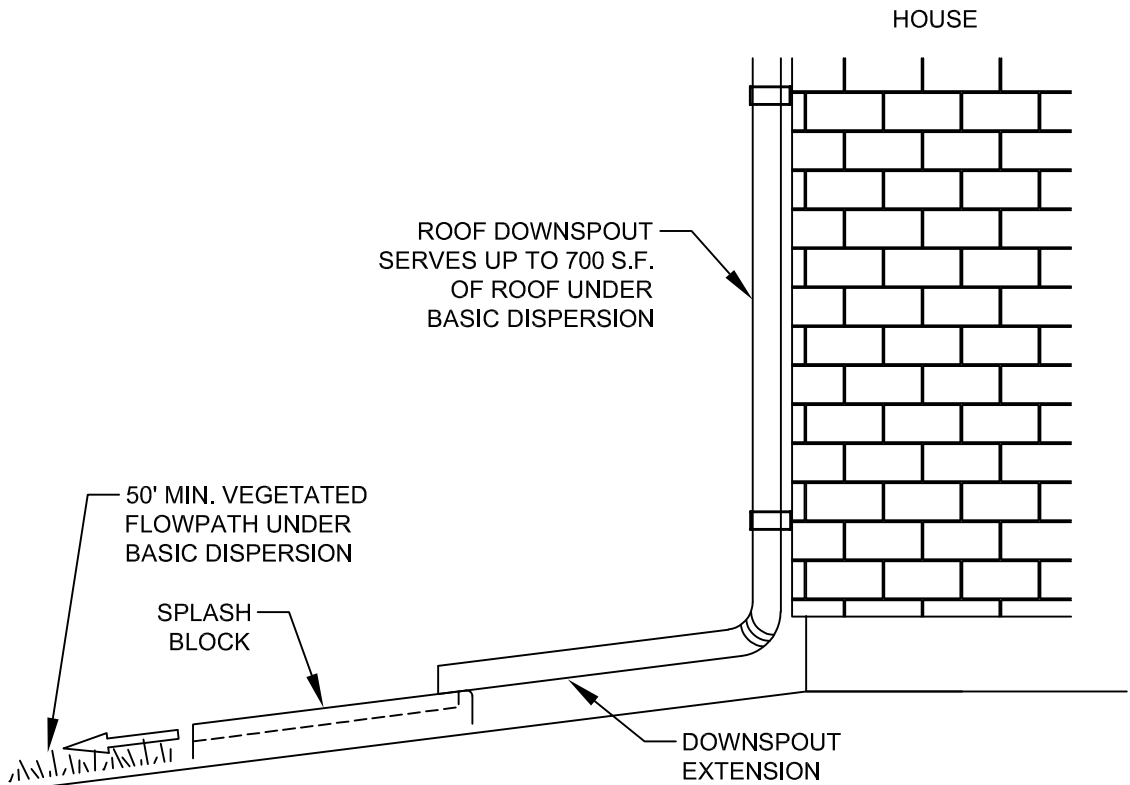
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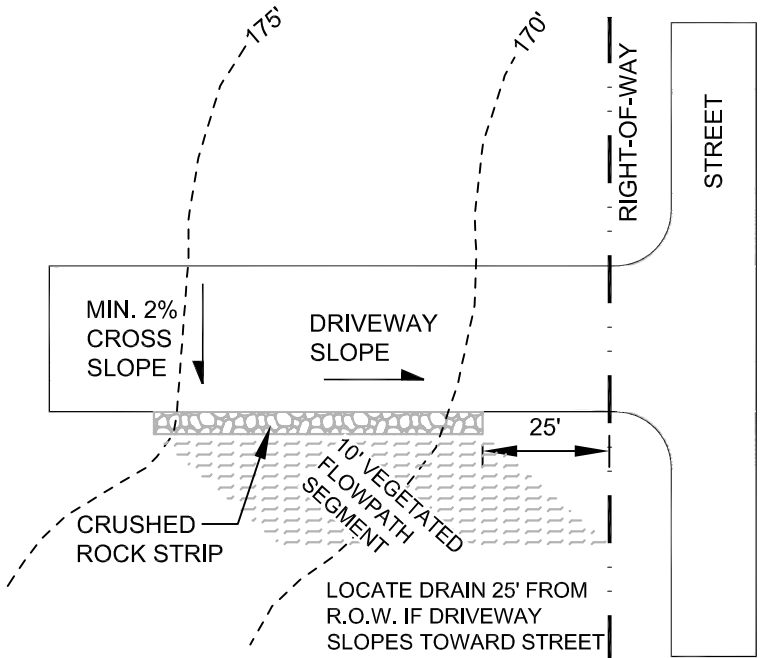
Fire Approval

Signature \_\_\_\_\_

Date \_\_\_\_\_



**SIDE VIEW**  
NTS



**PLAN - SHEET FLOW DISPERSION FROM A DRIVEWAY**  
FLAT TO MODERATELY STOPPING DRIVEWAYS  
NTS

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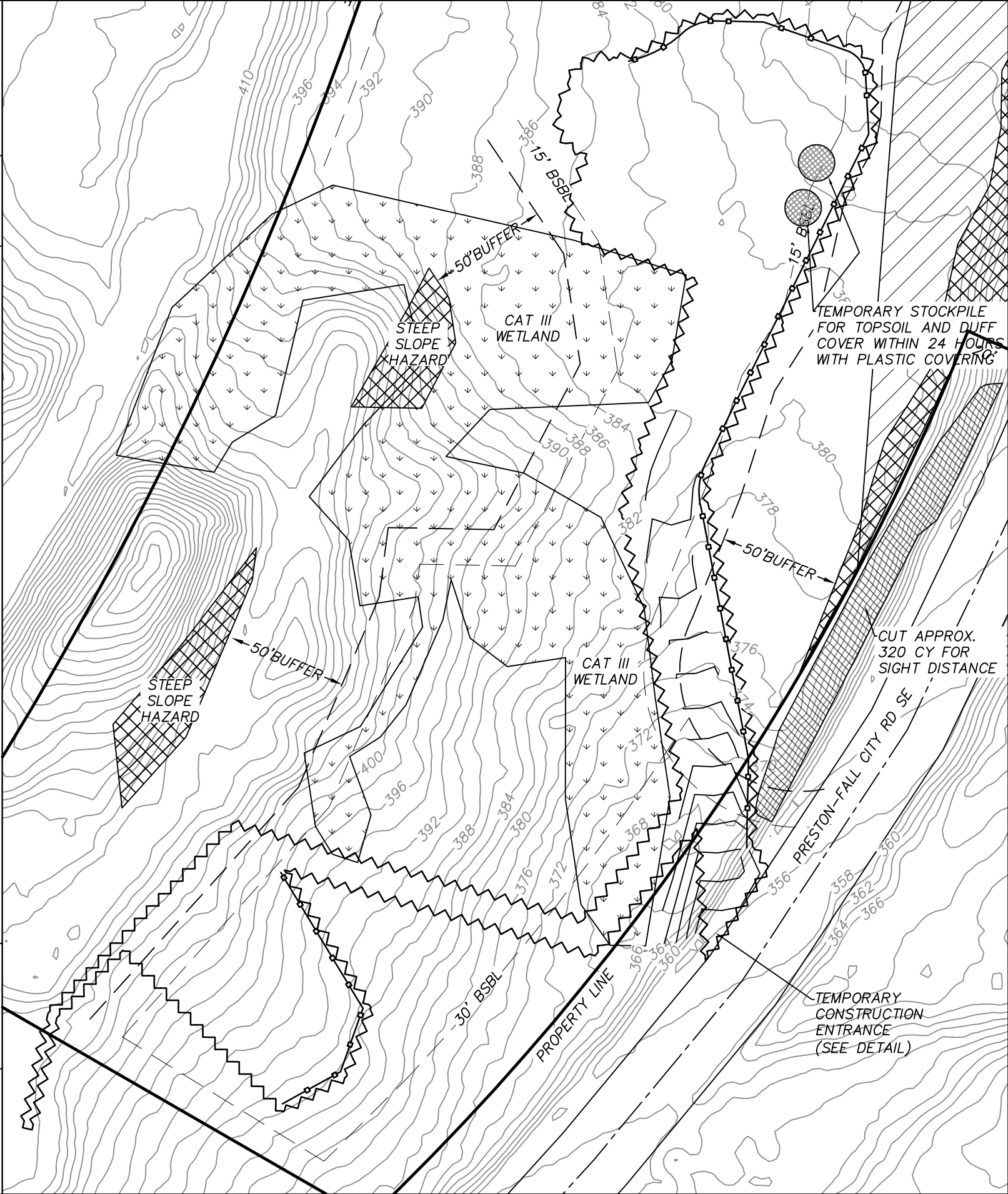

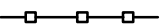





Permit Number \_\_\_\_\_ # \_\_\_\_\_ Parcel Number 282407-9045 Applicant Name EINAR NOVION Site Address 7XXX PRESTON-FALL CITY RD SE, ISSAQUAH, WA 98027

Engineering  
Scale: 1" = 20'

Sheet 4 of 8



<div><div>King County</div></div> <div>Department of Local Services Permitting Division</div>		<div>QUARTER: SE SECTION: 28 TOWNSHIP: 24 RANGE: 07  ZONING: RA10</div> <div><div>25'025'</div><div>SCALE: 1" = 50'</div></div> <div><div>LEGAL DESCRIPTION:</div><div>LOT 1 OF KC SHORT PLAT 677127 REC AF #7712010903 SD PLAT DAF BEG AT S 1/4 COR SD SEC TH WLY ALG S LN SD SEC 1074 FT M/L TO ELY MGN OF N P RR R/W &amp; TPOB TH NLY &amp; ELY ALG ELY MGN SD RR R/W 3000 FT TAP BEING S 566.03 FT &amp; S 38-31-57 W 3106.57 FT FR NE COR SD SEC TH DUE E 368 FT M/L TO WLY MGN PRESTON-FALL CITY RD TH SLY &amp; WLY ALG W MGN SD RD TO S LN SD SEC TH WLY ALG S LN SD SEC 361 FT M/L TO TPOB LESS PS P &amp; L R/W</div><div>Plat Block:  Plat Lot:</div><div><div>LEGEND:</div><div><div> : PLASTIC COVERING</div><div> : SILT FENCE</div><div> : LIMITS OF SITE DISTURBANCE</div></div><div><div>NOTE: THE ALLOWED DISTURBED AREA WITHIN A WETLAND BUFFER, NOT INCLUDING DRIVEWAY AND SPETIC DRAINFIELDS, IS 10% OR 21,867 SF.</div><div>PROPOSED DISTURBED AREA (NOT INCL. DRIVEWAY AND SEPTIC DRAINFIELDS) = 14,892 SF</div></div></div><div><div>CONTACT/ OWNER:</div><div>EINAR NOVION 3316 NE 120TH ST SEATTLE, WA 98125 NOVION.E@GMAIL.COM (206) 851-7922</div></div><div><div>PREPARED BY:</div><div>HARBERT ENGINEERS 4620 200TH ST. SW, SUITE B LYNNWOOD, WA 98036 PHONE: (206) 371-3079 LISAHARBERT@OUTLOOK.COM</div></div><div><div></div><div>Know what's below. Call 811 two business days before you dig.</div></div><div><div></div></div></div>
RECOMMENDED CONSTRUCTION SEQUENCE		
Engineering / Drainage Approval		
Clearing / Grading Approval		

Permit Number #	Parcel Number 282407-9045	Applicant Name EINAR NOVION	Site 7XXX PRESTON-FALL CITY RD SE, ISSAQUAH, WA 98027	Engineering Scale: 1" = 50'	Sheet 5 of 8
			Address		



Department of Local Services  
Permitting Division

Residential Site Plan; Temporary  
Erosion & Sedimentation Control  
(TESC) Template - 11" x 17"

RECOMMENDED CONSTRUCTION SEQUENCE

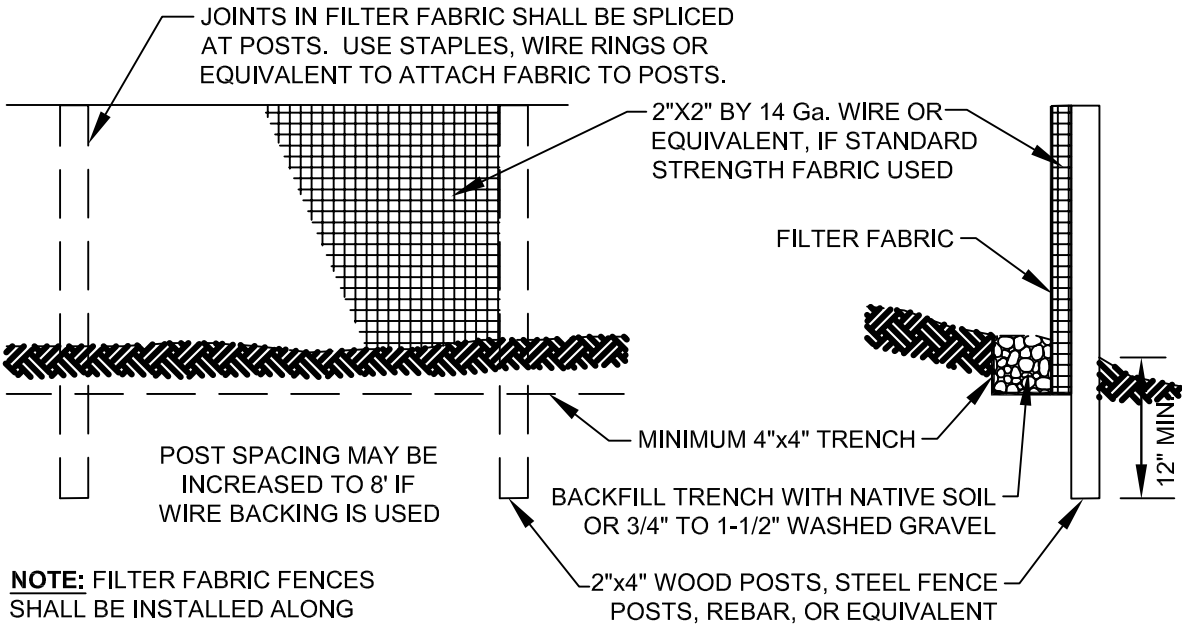
1. Hold the pre-construction meeting, if required
2. Post sign with name and phone number of ESC Supervisor (may be consolidated with the required notice of construction sign).
3. Flag or fence clearing limits
4. Install catch basin protection, if required
5. Grade and install construction entrance(s)
6. Install perimeter protection (silt fence, brush barrier, etc.)
7. Construct sediment ponds and traps, if required
8. Grade and stabilize construction roads
9. Construct surface water controls (interceptor kikes, pipe slope drains, etc.) simultaneously with clearing and grading for project development
10. Maintain erosion control measures in accordance with King Count standards and manufacturer's recommendations
11. Relocate erosion control measure, or install new measure so that as site conditions change, the erosion and sediment control is always in accordance with the King County erosion and Sedimentation Control Standards
12. Cover all areas that will be unworked for more than seven days during the dry season or two days during the wet season with straw, wood fiber, mulch, compost, plastic sheeting, or equivalent
13. Stabilize all areas within seven days of reaching final grade
14. Seed, sod, stabilize, or cover any areas to remain unworked for more than 30 days
15. Upon completion of the project, stabilize all disturbed areas and remove BMP's if appropriate.

Engineering / Drainage Approval

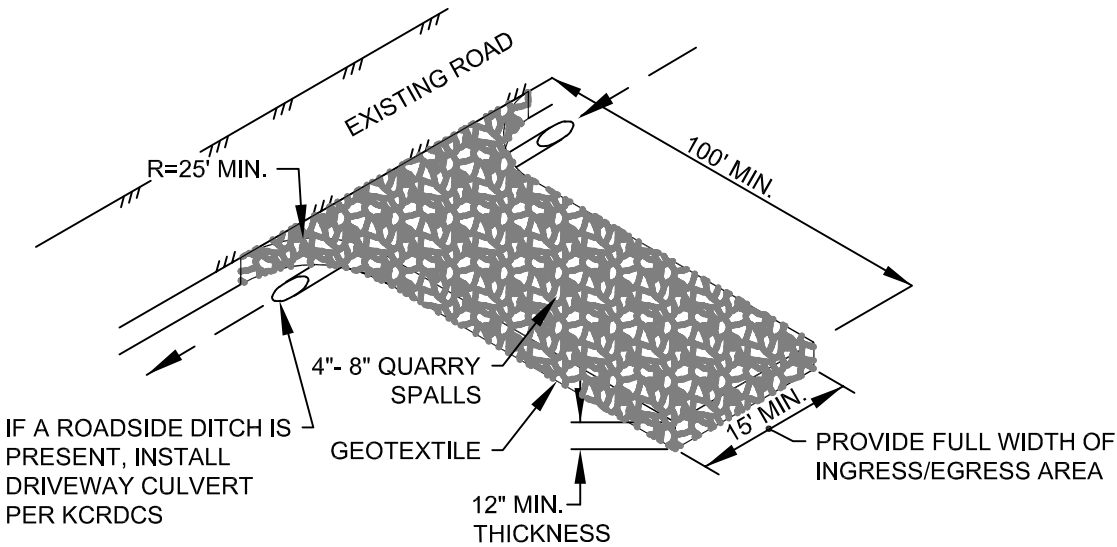
Signature \_\_\_\_\_  
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Signature \_\_\_\_\_  
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**NOTE:** FILTER FABRIC FENCES SHALL BE INSTALLED ALONG CONTOURS WHENEVER POSSIBLE



**NOTES:**

- PER KING COUNTY ROAD DESIGN AND CONSTRUCTION STANDARDS (KCRDCS), DRIVEWAYS SHALL BE PAVED TO EDGE OF R-O-W PRIOR TO INSTALLATION OF THE CONSTRUCTION ENTRANCE TO AVOID DAMAGING OF THE ROADWAY.
- IT IS RECOMMENDED THAT THE ENTRANCE BE CROWNED SO THAT RUNOFF DRAINS OFF THE PAD.
- HOG FUEL MAY BE USED INSTEAD OF GRAVEL.
- AFTER TEST PITS HAVE BEEN TESTED, TEMP ACCESS ROAD SHALL BE REMOVED

QUARTER: SE  
SECTION: 28  
TOWNSHIP: 24  
RANGE: 07  
ZONING: RA10



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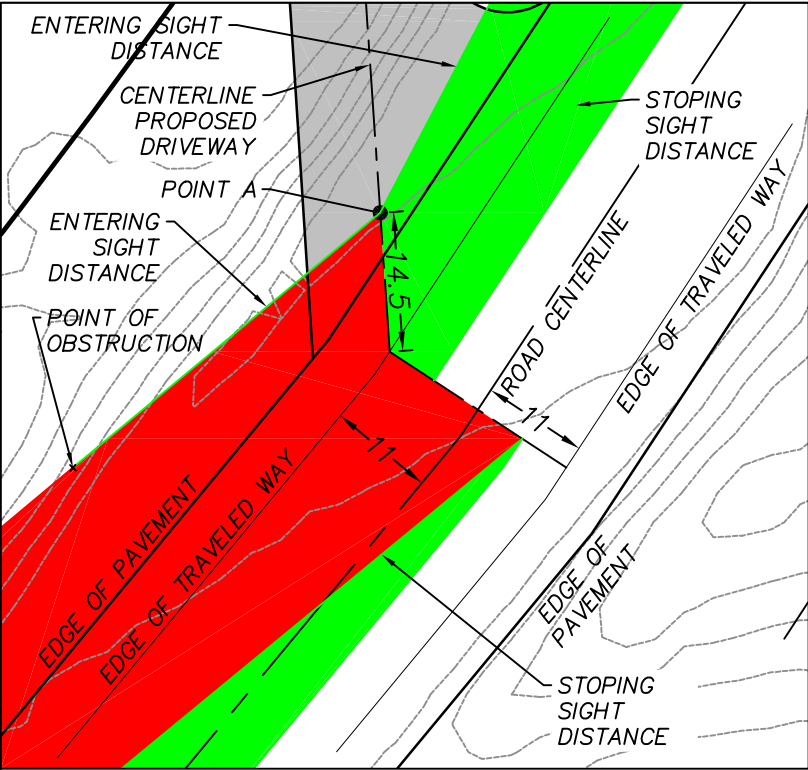
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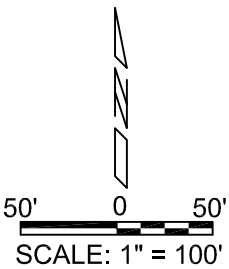
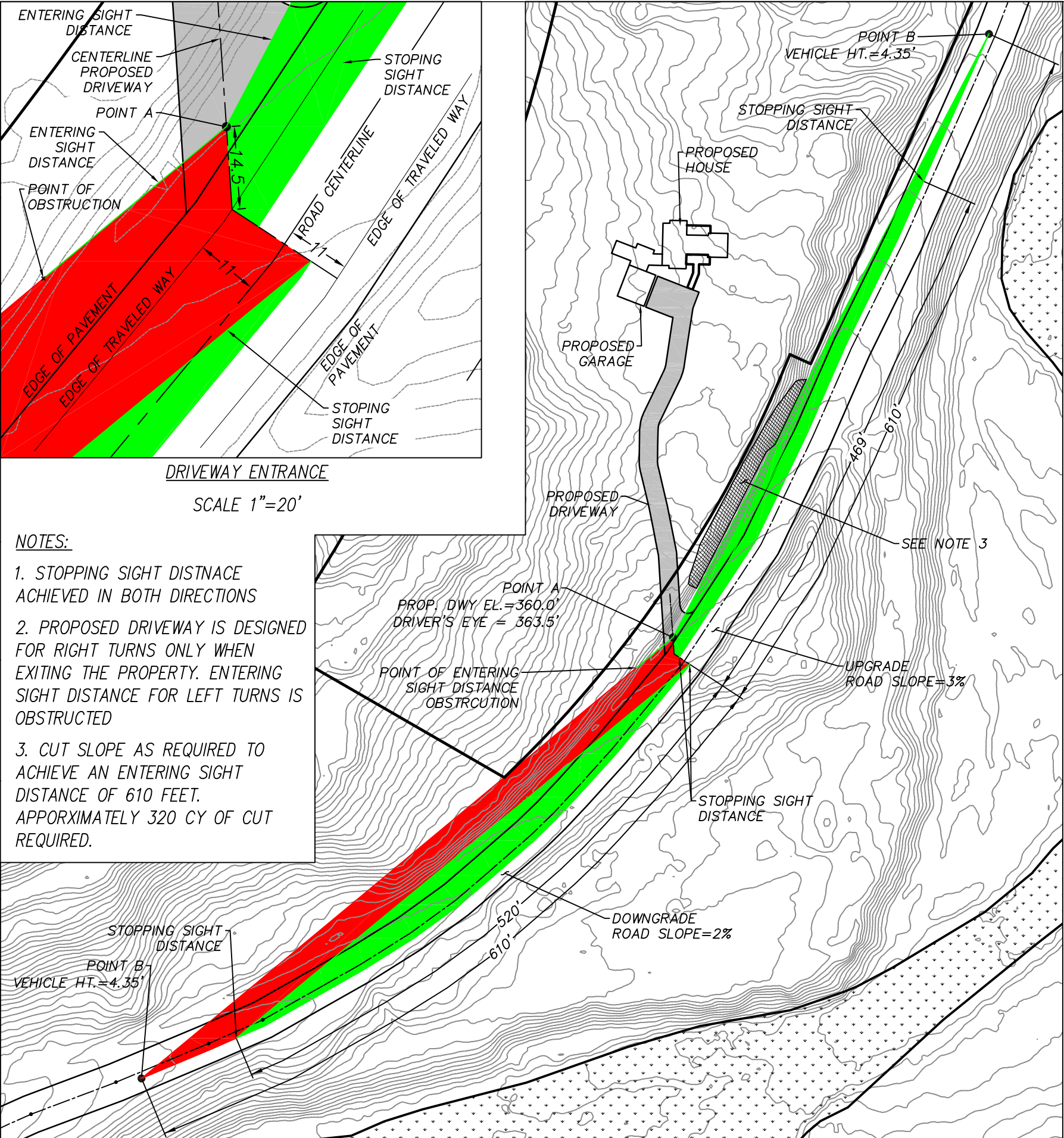


DRIVEWAY ENTRANCE

SCALE 1"=20'

NOTES:

1. STOPPING SIGHT DISTNACE ACHIEVED IN BOTH DIRECTIONS
2. PROPOSED DRIVEWAY IS DESIGNED FOR RIGHT TURNS ONLY WHEN EXITING THE PROPERTY. ENTERING SIGHT DISTANCE FOR LEFT TURNS IS OBSTRUCTED
3. CUT SLOPE AS REQUIRED TO ACHIEVE AN ENTERING SIGHT DISTANCE OF 610 FEET. APPORXIMATELY 320 CY OF CUT REQUIRED.



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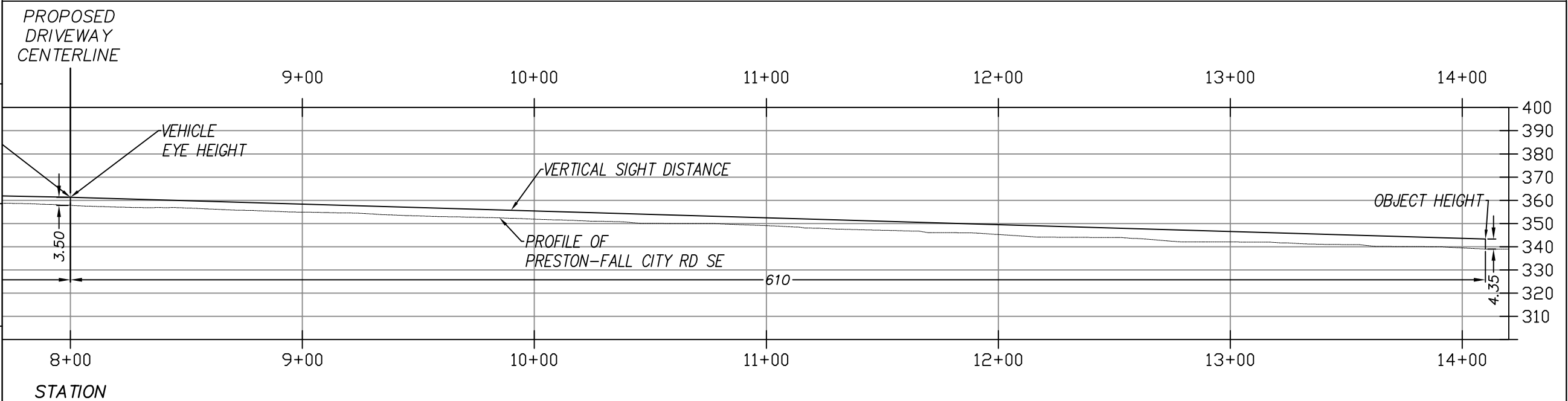
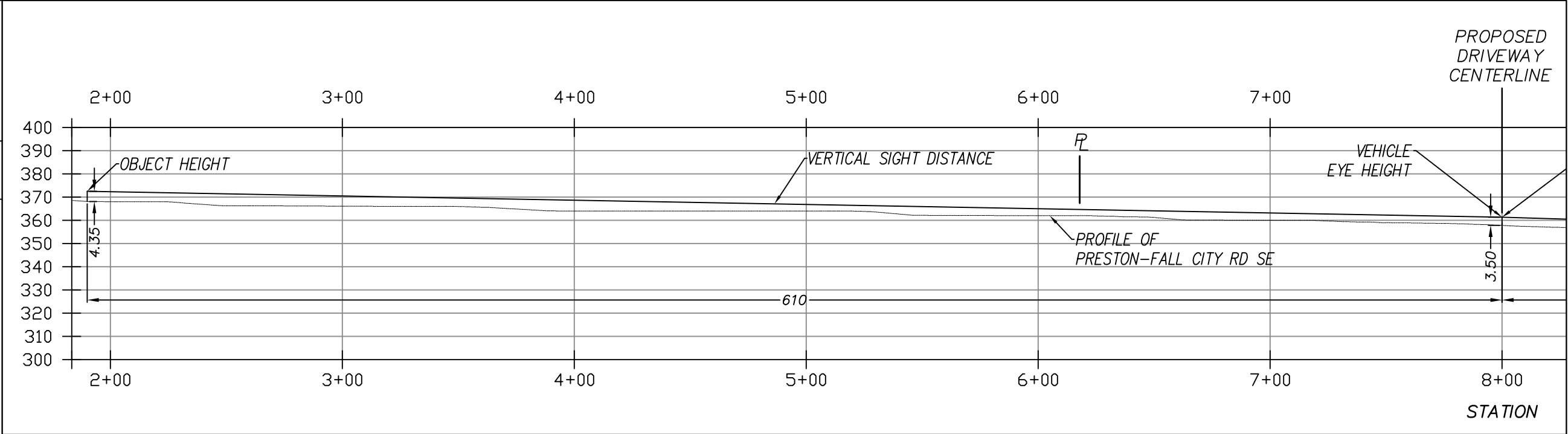
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ROAD GRADE DETERMINED FROM LIDAR (KINGCO RAGING RIVER 2011)

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