



Residential Site Plan Template

11" x 17"

For Permitting Use

Received Date _____

Max. Impervious Surface Allowed _____

Max. Bldg. Height Allowed _____

Min. Bldg. setback from Street _____

Min. Garage setback from Street _____

Min. Bldg. setback from Interior _____

Signature _____

Date _____

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GENERAL NOTES: _____ EROSION CONTROL NOTES: _____

<ol style="list-style-type: none">1. ALL DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH PERMIT CONDITIONS, THE KING COUNTY CODE (KCC), ROAD STANDARDS (KCRS), WASHINGTON STATE DOT (WSDOT) STANDARD SPECIFICATIONS AND THE CONDITIONS OF PRELIMINARY APPROVAL. IT SHALL BE THE SOLE RESPONSIBILITY OF THE APPLICANT AND THE PROFESSIONAL CIVIL ENGINEER TO CORRECT ANY ERROR, OMISSION, OR VARIATION FROM THE ABOVE REQUIREMENTS FOUND IN THESE PLANS. ALL CORRECTIONS SHALL BE AT NO ADDITIONAL COST OR LIABILITY TO KING COUNTY.2. THE DESIGN ELEMENTS WITHIN THESE PLANS HAVE BEEN REVIEWED ACCORDING TO THE KING COUNTY DEPARTMENT OF DEVELOPMENT AND ENVIRONMENTAL SERVICES (DDES) ENGINEERING REVIEW CHECKLIST. SOME ELEMENTS MAY HAVE BEEN OVERLOOKED OR MISSED BY THE DDES PLAN REVIEWER. ANY VARIANCE FROM ADOPTED STANDARDS IS NOT ALLOWED UNLESS SPECIFICALLY APPROVED BY KING COUNTY PRIOR TO CONSTRUCTION.3. APPROVAL OF THIS ROAD, GRADING, PARKING AND DRAINAGE PLAN DOES NOT CONSTITUTE AN APPROVAL OF ANY OTHER CONSTRUCTION (E.G. DOMESTIC WATER CONVEYANCE, SEWER CONVEYANCE, GAS, ELECTRICAL, ETC.)4. BEFORE ANY CONSTRUCTION OR DEVELOPMENT ACTIVITY, A PRECONSTRUCTION MEETING MUST BE HELD BETWEEN THE DDES'S LAND USE INSPECTION SECTION, THE APPLICANT, AND THE APPLICANT'S CONSTRUCTION REPRESENTATIVE.5. A COPY OF THESE APPROVED PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.6. GRADING ACTIVITIES (SITE ALTERATION) ARE LIMITED TO THE HOURS OF 7 A.M. TO 7 P.M. MONDAY THROUGH SATURDAY AND 10 A.M. TO 5 P.M. ON SUNDAY, UNLESS OTHERWISE APPROVED WITH WRITTEN PERMISSION BY THE RELEVANT AGENCY.7. IT SHALL BE THE APPLICANT'S/CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL CONSTRUCTION EASEMENTS NECESSARY BEFORE INITIATING OFF-SITE WORK. EASEMENTS REQUIRE REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.8. FRANCHISED UTILITIES OR OTHER INSTALLATIONS THAT ARE NOT SHOWN ON THESE APPROVED PLANS SHALL NOT BE CONSTRUCTED UNLESS AN APPROVED SET OF PLANS THAT MEET ALL REQUIREMENTS OF KCRS CHAPTER 8 ARE SUBMITTED TO THE DDES'S LAND USE INSPECTION SECTION THREE DAYS PRIOR TO CONSTRUCTION.9. DATUM SHALL BE KCAS UNLESS OTHERWISE APPROVED BY DDES.10. DEWATERING SYSTEM (UNDERDRAIN) CONSTRUCTION SHALL BE WITHIN A RIGHT-OF-WAY OR APPROPRIATE DRAINAGE EASEMENT, BUT NOT UNDERNEATH THE ROADWAY SECTION. ALL UNDERDRAIN SYSTEMS MUST BE CONSTRUCTED IN ACCORDANCE WITH WSDOT STANDARD SPECIFICATIONS.11. ALL UTILITY TRENCHES AND ROADWAY UPGRADE SHALL BE BACKFILLED AND COMPACTED TO 95 PERCENT DENSITY, STANDARD PROCTOR.12. OPEN CUTTING OF EXISTING ROADWAYS FOR NON-FRANCHISED UTILITY OR STORM WORK IS NOT ALLOWED UNLESS SPECIFICALLY APPROVED BY DDES AND NOTED ON THESE APPROVED PLANS. ANY OPEN CUT SHALL BE RESTORED IN ACCORDANCE WITH KCRS.13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SAFEGUARDS, SAFETY DEVICES, PROTECTIVE EQUIPMENT, FLAGGERS, AND ANY OTHER NEEDED ACTIONS TO PROTECT THE LIFE, HEALTH, AND SAFETY OF THE PUBLIC, AND TO PROTECT PROPERTY AND CONNECTIONS TO WORK AREAS. ANY WORK WITHIN THE TRAVELED RIGHT-OF-WAY THAT MAY INTERRUPT NORMAL TRAFFIC FLOW SHALL REQUIRE AT LEAST ONE FLAGGER FOR EACH LANE OF TRAFFIC AFFECTED. MANUAL OR UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) SHALL APPLY. WORK IN RIGHT-OF-WAY IS NOT AUTHORIZED UNTIL A TRAFFIC CONTROL PLAN IS APPROVED BY KING COUNTY.	<ol style="list-style-type: none">1. APPROVAL OF THIS EROSION AND SEDIMENTATION CONTROL PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT IMPROVEMENTS SUCH AS LOCATION OF ROADS, PIPES, RESTRICTORS, ETC.).2. THE IMPLEMENTATION OF THESE ESC PLAN REQUIREMENTS, INCLUDING REPLACEMENT, AND UPGRADING OF THESE FACILITIES SHALL BE THE APPLICANT/ESC SUPERVISOR UNTIL ALL CORRECTIONS ARE MADE.3. THE BOUNDARIES OF THE CLEARING LIMITS SHALL BE FLAGGED BY SURVEY TAPE OR FENCING, IF AVAILABLE. THE REQUIREMENTS OF APPENDIX D, DURING THE CONSTRUCTION OF THE PROJECT, CLEARING LIMITS SHALL BE PERMITTED. THE APPLICANT/ESC SUPERVISOR FOR THE PROJECT SHALL MAINTAIN THE STABILIZED CONSTRUCTION ENTRANCES SHOWN ON THESE PLANS AND MEASURES, SUCH AS CONSTRUCTED WATER DIVERSIONS, WHICH ARE REQUIRED TO ENSURE THAT ALL PAVED AREA RIGHT OF WAY DOES NOT OCCUR FOR THE PROJECT.5. THE ESC FACILITIES SHOWN ON THIS PLAN SHALL BE MAINTAINED IN CONJUNCTION WITH ALL CLEARING AND GRADING. TRANSPORT OF SEDIMENT TO SURFACE WATER BODIES OR BMP LOCATIONS (EXISTING AND PROPOSED) SHALL BE MINIMIZED.6. THE ESC FACILITIES SHOWN ON THIS PLAN SHALL BE MAINTAINED IN ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION OF THE PROJECT, FACILITIES SHALL BE UPGRADED AS NEEDED TO ADDRESS CHANGING SITE CONDITIONS. MODIFIED TO ADDRESS CHANGING SITE CONDITIONS, ADDITIONAL SUMP PUMPS, PERIMETER PROTECTION ETC.) AS DIRECTED BY THE PROJECT ENGINEER.7. THE ESC FACILITIES SHALL BE INSPECTED DURING THE PROJECT TO MAINTAINED TO ENSURE CONTINUED PROTECTION. INSPECTIONS SHOULD BE KEPT OF WEEKLY REVIEWS OF THE ESC FACILITIES.8. ANY AREAS OF EXPOSED SOILS, INCLUDING DISTURBED FOR TWO CONSECUTIVE DAYS DURING THE DRY SEASON SHALL BE IMMEDIATELY COVERED USING METHODS (E.G., SEEDING, MULCHING, PLACING GEOTEXTILE). ANY AREAS NEEDING ESC MEASURES THAT ARE NOT SHOWN ON THESE PLANS SHALL BE ADDRESSED WITHIN SEVEN (7) DAYS OF IDENTIFICATION.10. THE ESC FACILITIES ON INACTIVE SITES SHALL BE MAINTAINED FOR A MINIMUM OF ONE MONTH DURING THE WINTER SEASON, OR WITHIN TWENTY FOUR (24) HOURS AFTER CLOSURE.11. AT NO TIME SHALL MORE THAN ONE (1) FOOT OF SOIL BE ACCUMULATED WITHIN A CATCH BASIN. ALL MATERIALS SHALL BE CLEANED PRIOR TO PAVING, THE CLEANING PROCESS SHALL INCLUDE SEDIMENT-LADEN WATER INTO THE DOWNSTREAM CHANNEL.12. ANY PERMANENT RETENTION/DETENTION BASIN SHALL BE MODIFIED WITH THE NEEDS OF THE PROJECT. THE BASIN SHALL PROVIDE ADEQUATE STORAGE CAPACITY FOR THE PROJECT. ULTIMATELY AS AN INFILTRATION SYSTEM, GRADED SO THAT THE BOTTOM AND SIDES OF THE BASIN MATCH THE GRADE OF THE PERMANENT FACILITY. FLOOR FINISH SHALL BE MOVED EITHER AS TEMPORARY OR PERMANENT.
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1.	ALL DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH PERMIT CONDITIONS, THE KING COUNTY CODE (KCC), ROAD STANDARDS (KCRS), WASHINGTON STATE DOT (WSDOT) STANDARD SPECIFICATIONS AND THE CONDITIONS OF PRELIMINARY APPROVAL. IT SHALL BE THE SOLE RESPONSIBILITY OF THE APPLICANT AND THE PROFESSIONAL CIVIL ENGINEER TO CORRECT ANY ERROR, OMISSION, OR VARIATION FROM THE ABOVE REQUIREMENTS FOUND IN THESE PLANS. ALL CORRECTIONS SHALL BE AT NO ADDITIONAL COST OR LIABILITY TO KING COUNTY.	1.	APPROVAL OF THIS EROSION AND SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G., SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).
2.	THE DESIGN ELEMENTS WITHIN THESE PLANS HAVE BEEN REVIEWED ACCORDING TO THE KING COUNTY DEPARTMENT OF DEVELOPMENT AND ENVIRONMENTAL SERVICES (DDES) ENGINEERING REVIEW CHECKLIST. SOME ELEMENTS MAY HAVE BEEN OVERLOOKED OR MISSED BY THE DDES PLAN REVIEWER. ANY VARIANCE FROM ADOPTED STANDARDS IS NOT ALLOWED UNLESS SPECIFICALLY APPROVED BY KING COUNTY PRIOR TO CONSTRUCTION.	2.	THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/ESC SUPERVISOR UNTIL ALL CONSTRUCTION IS APPROVED.
3.	APPROVAL OF THIS ROAD, GRADING, PARKING AND DRAINAGE PLAN DOES NOT CONSTITUTE AN APPROVAL OF ANY OTHER CONSTRUCTION (E.G. DOMESTIC WATER CONVEYANCE, SEWER CONVEYANCE, GAS, ELECTRICAL, ETC.)	3.	THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED BY SURVEY TAPE OR FENCING, IF REQUIRED, PRIOR TO CONSTRUCTION (SWDM APPENDIX D). DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE CLEARING LIMITS SHALL BE PERMITTED. THE CLEARING LIMITS SHALL BE MAINTAINED BY THE APPLICANT/ESC SUPERVISOR FOR THE DURATION OF CONSTRUCTION.
4.	BEFORE ANY CONSTRUCTION OR DEVELOPMENT ACTIVITY, A PRECONSTRUCTION MEETING MUST BE HELD BETWEEN THE DDES'S LAND USE INSPECTION SECTION, THE APPLICANT, AND THE APPLICANT'S CONSTRUCTION REPRESENTATIVE.	4.	STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES, SUCH AS CONSTRUCTED WHEEL WASH PUMPS, RELOADED WASH PADS, MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN AND TRACK OUT TO ROAD RIGHT OF WAY DOES NOT OCCUR FOR THE DURATION OF THE PROJECT.
5.	A COPY OF THESE APPROVED PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.	5.	THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED PRIOR TO OR IN CONJUNCTION WITH ALL CLEARING AND GRADING SO AS TO ENSURE THAT THE TRANSPORT OF SEDIMENT TO SURFACE WATERS, DRAINAGE SYSTEMS, FLOW CONTROL BMP LOCATIONS (EXISTING AND PROPOSED), AND ADJACENT PROPERTIES IS MINIMIZED.
6.	GRADING ACTIVITIES (SITE ALTERATION) ARE LIMITED TO THE HOURS OF 7 A.M. TO 7 P.M. MONDAY THROUGH SATURDAY AND 10 A.M. TO 5 P.M. ON SUNDAY, UNLESS OTHERWISE APPROVED WITH A WRITTEN DECISION BY THE REVIEWING AGENCY.	6.	THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND MODIFIED TO ACCOUNT FOR CHANGING SITE CONDITIONS (E.G. ADDITIONAL COVER MEASURES, ADDITIONAL SEDIMENT PUMPS, RELOADED WASH PADS, RITCHES AND SILT FENCES, PERIMETER PROTECTION ETC.) AS DIRECTED BY KING COUNTY.
7.	IT SHALL BE THE APPLICANT'S/CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL CONSTRUCTION EASEMENTS NECESSARY BEFORE INITIATING OFF-SITE WORK. EASEMENTS REQUIRE REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.	7.	THE ESC FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT/ESC SUPERVISOR AND MAINTAINED TO ENSURE CONTINUED PROPER FUNCTIONING. WRITTEN RECORDS SHALL BE KEPT OF WEEKLY REVIEWS OF THE ESC FACILITIES.
8.	FRANCHISED UTILITIES OR OTHER INSTALLATIONS THAT ARE NOT SHOWN ON THESE APPROVED PLANS SHALL NOT BE CONSTRUCTED UNLESS AN APPROVED SET OF PLANS THAT MEET ALL REQUIREMENTS OF KCRS CHAPTER 8 ARE SUBMITTED TO THE DDES'S LAND USE INSPECTION SECTION THREE DAYS PRIOR TO CONSTRUCTION.	8.	ANY AREAS OF EXPOSED SOILS, INCLUDING ROADWAY EMBANKMENTS, THAT WILL NOT BE DISTURBED FOR TWO CONSECUTIVE DAYS DURING THE WET SEASON OR SEVEN DAYS DURING THE DRY SEASON SHALL BE IMMEDIATELY STABILIZED WITH THE APPROVED ESC METHODS (E.G., SEEDING, MULCHING, PLASTIC COVERING, ETC.).
9.	DATUM SHALL BE KCAS UNLESS OTHERWISE APPROVED BY DDES.	9.	ANY AREA NEEDING ESC MEASURES THAT DO NOT REQUIRE IMMEDIATE ATTENTION SHALL BE ADDRESSED WITHIN SEVEN (7) DAYS.
10.	DEWATERING SYSTEM (UNDERDRAIN) CONSTRUCTION SHALL BE WITHIN A RIGHT-OF-WAY OR APPROPRIATE DRAINAGE EASEMENT, BUT NOT UNDERNEATH THE ROADWAY SECTION. ALL UNDERDRAIN SYSTEMS MUST BE CONSTRUCTED IN ACCORDANCE WITH WSDOT STANDARD SPECIFICATIONS.	10.	THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH DURING THE DRY SEASON AND MONTHLY DURING THE WET SEASON, OR INTERMITTENTLY TWENTY-FOUR (24) HOURS AFTER EACH RAIN EVENT.
11.	ALL UTILITY TRENCHES AND ROADWAY SUBGRADE SHALL BE BACKFILLED AND COMPACTED TO 95 PERCENT DENSITY, STANDARD PROCTOR.	11.	AT NO TIME SHALL MORE THAN ONE (1) FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT-LADEN WATER INTO THE DOWNSTREAM SYSTEM.
12.	OPEN CUTTING OF EXISTING ROADWAYS FOR NON-FRANCHISED UTILITY OR STORM WORK IS NOT ALLOWED UNLESS SPECIFICALLY APPROVED BY DDES AND NOTED ON THESE APPROVED PLANS. ANY OPEN CUT SHALL BE RESTORED IN ACCORDANCE WITH KCRS.	12.	ANY PERMANENT RETENTION/DETENTION FACILITY USED AS A TEMPORARY SETTLING BASIN SHALL BE MODIFIED WITH THE NECESSARY EROSION CONTROL MEASURES AND SHALL PROVIDE ADEQUATE STORAGE CAPACITY. IF THE FACILITY IS TO FUNCTION ULTIMATELY AS AN INFILTRATION SYSTEM, THE TEMPORARY FACILITY MUST BE ROUGH GRADED SO THAT THE BOTTOM AND SIDES ARE AT LEAST THREE FEET ABOVE THE FINAL GRADE OF THE PERMANENT FACILITY. FLOW CONTROL BMP AREAS (EXISTING OR PROPOSED) SHALL NOT BE USED AS TEMPORARY FACILITIES AND SHALL BE PROTECTED FROM SEDIMENTATION AND INTRUSION.
13.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SAFEGUARDS, SAFETY DEVICES, PROTECTIVE EQUIPMENT, FLAGGERS, AND ANY OTHER NEEDED ACTIONS TO PROTECT THE LIFE, HEALTH, AND SAFETY OF THE PUBLIC, AND TO PROTECT PROPERTY IN CONNECTION WITH THE PERFORMANCE OF WORK COVERED BY THE CONTRACTOR. ANY WORK WITHIN THE TRAVELED RIGHT-OF-WAY THAT MAY INTERRUPT NORMAL TRAFFIC FLOW SHALL REQUIRE AT LEAST ONE FLAGGER FOR EACH LANE OF TRAFFIC AFFECTED. MANUAL OR UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) SHALL APPLY. WORK IN RIGHT-OF-WAY IS NOT AUTHORIZED UNTIL A TRAFFIC CONTROL PLAN IS APPROVED BY KING COUNTY.	13.	COVER MEASURES WILL BE APPLIED IN CONFORMANCE WITH APPENDIX D OF THE KING COUNTY SURFACE WATER DESIGN MANUAL.
		14.	PRIOR TO THE BEGINNING OF THE WET SEASON (OCT. 1), ALL DISTURBED AREAS SHALL BE REVIEWED TO IDENTIFY WHICH ONES CAN BE SEEDED IN PREPARATION FOR THE WINTER RAINS. DISTURBED AREAS SHALL BE SEEDED WITHIN ONE WEEK OF THE BEGINNING OF THE WET SEASON. A SKETCH MAP OF THOSE AREAS TO BE SEEDED AND THOSE AREAS TO REMAIN UNCOVERED SHALL BE SUBMITTED TO THE DPER INSPECTOR.

<p>1. ALL DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH STATE CONDITIONS, THE KING COUNTY CODE (KCC), ROAD STANDARDS (KCRS), WASHINGTON SITE DOT (WSDOT) STANDARD SPECIFICATIONS AND THE CONDITIONS OF PRELIMINARY APPROVAL. IT SHALL BE THE SOLE RESPONSIBILITY OF THE APPLICANT AND THE PROFESSIONAL CIVIL ENGINEER TO CORRECT ANY ERROR, OMISSION, OR VARIATION FROM THE ABOVE REQUIREMENTS FOUND IN THESE PLANS. ALL CORRECTIONS SHALL BE AT NO ADDITIONAL COST OR LIABILITY TO KING COUNTY.</p> <p>2. THE DESIGN ELEMENTS WITHIN THESE PLANS HAVE BEEN REVIEWED ACCORDING TO THE KING COUNTY DEPARTMENT OF ENVIRONMENTAL SERVICES (DES) PRELIMINARY ENGINEERING REVIEW CHECKLIST. SOME ELEMENTS MAY HAVE BEEN OVERLOOKED OR MISSED BY THE DES PLAN REVIEWER, ANY VARIANCE FROM ADOPTED STANDARDS IS NOT ALLOWED UNLESS SPECIFICALLY APPROVED BY KING COUNTY PRIOR TO CONSTRUCTION.</p> <p>3. APPROVAL OF THIS ROAD, GRADING, PARKING AND DRAINAGE PLAN DOES NOT CONSTITUTE AN APPROVAL OF ANY OTHER CONSTRUCTION (E.G. DOMESTIC WATER CONVEYANCE, SEWER CONVEYANCE, GAS, ELECTRICAL, ETC.).</p> <p>4. BEFORE ANY DEVELOPMENT OR CONSTRUCTION ACTIVITY, A PRECONSTRUCTION MEETING MUST BE HELD BETWEEN THE DES'S LAND USE INSPECTION SECTION, THE APPLICANT, AND THE APPLICANT'S CONSTRUCTION REPRESENTATIVE.</p> <p>5. A COPY OF THESE APPROVED PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.</p> <p>6. GRADING ACTIVITIES (SITE ALTERATION) ARE LIMITED TO THE HOURS OF 7 A.M. TO 7 P.M. MONDAY THROUGH SATURDAY AND 10 A.M. TO 5 P.M. ON SUNDAY, UNLESS OTHERWISE APPROVED WITH A WRITTEN DECISION BY THE REVIEWING AGENCY.</p> <p>7. IT SHALL BE THE APPLICANT'S/CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL CONSTRUCTION EASEMENTS NECESSARY BEFORE INITIATING OFF-SITE WORK. EASEMENTS REQUIRE REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.</p>	<p>1. APPROVAL OF THIS EROSION AND SEDIMENTATION CONTROL (ESC) PLAN DOES NOT CONSTITUTE AN APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G., SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS, RETENTION FACILITIES, UTILITIES, ETC.).</p> <p>2. THE IMPLEMENTATION OF THESE ESC PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADE OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/ESC SUPERVISOR UNTIL ALL CONSTRUCTION IS APPROVED.</p> <p>3. THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED BY SURVEY TAPE OR FENCING, IF REQUIRED, PRIOR TO CONSTRUCTION (SWDM APPENDIX D). DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE OF THE CLEARING LIMITS SHALL BE PERMITTED. THE CLEARING LIMITS SHALL BE MAINTAINED BY THE APPLICANT/ESC SUPERVISOR FOR THE DURATION OF CONSTRUCTION.</p> <p>4. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES, SUCH AS CONSTRUCTED WHEEL WASH SYSTEMS OR WASH PADS, MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN AND TRACK OUT TO ROAD RIGHT OF WAY DOES NOT OCCUR FOR THE DURATION OF THE PROJECT.</p> <p>5. THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED PRIOR TO OR IN CONJUNCTION WITH ALL CLEARING AND GRADING SO AS TO ENSURE THAT THE TRANSPORT OF SEDIMENT TO SURFACE WATERS, DRAINAGE SYSTEMS, FLOW CONTROL BMP LOCATIONS (EXISTING AND PROPOSED), AND ADJACENT PROPERTIES IS MINIMIZED.</p> <p>6. THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND MODIFIED TO ACCOUNT FOR CHANGING SITE CONDITIONS (E.G. ADDITIONAL COVER MEASURES, ADDITIONAL STORM PUMPS, RELOCATION OF DITCHES AND SILT FENCES, PIPESTER RESTRICTION SIGNS, ETC.) PRIOR TO RAINING EVENTS.</p>	<p>1. ALL POLLUTANTS, INCLUDING WASTE MATERIALS THAT OCCUR ONSITE, SHALL BE HANDLED AND DISPOSED OF IN A MANNER THAT DOES NOT CAUSE CONTAMINATION OF STORMWATER.</p> <p>2. COVER, CONTAINMENT, AND PROTECTION FROM VANDALISM SHALL BE PROVIDED FOR ALL CHEMICALS, LIQUID PRODUCTS, PETROLEUM PRODUCTS, AND NON-INERT WASTES PRESENT ON THE SITE (SEE CHAPTER 173-304 WAC FOR THE DEFINITION OF INERT WASTE). ONSITE FUELING TANKS SHALL INCLUDE SECONDARY CONTAINMENT.</p> <p>3. MAINTENANCE AND REPAIR OF HEAVY EQUIPMENT AND VEHICLES INVOLVING OIL CHANGES, HYDRAULIC SYSTEM REPAIRS, AND MAINTENANCE OF MAINTENANCE OPERATIONS, FUEL TANK DRAIN DOWN AND REMOVAL, AND OTHER ACTIVITIES WHICH MAY RESULT IN DISCHARGE OR SPILLAGE OF POLLUTANTS TO THE GROUND OR INTO STORMWATER RUNOFF MUST BE CONDUCTED USING SPILL PREVENTION MEASURES, SUCH AS DRIP PANS. CONTAMINATED SURFACES SHALL BE CLEANED IMMEDIATELY FOLLOWING ANY DISCHARGE OR SPILL INCIDENT. EMERGENCY REPAIRS MAY BE PERFORMED ONSITE USING TEMPORARY PLASTIC PLACED BENEATH AND, IF RAINING, OVER THE VEHICLE.</p> <p>4. APPLICATION OF AGRICULTURAL CHEMICALS, INCLUDING FERTILIZERS AND PESTICIDES, SHALL BE CONDUCTED IN A MANNER AND AT APPLICATION RATES THAT WILL NOT RESULT IN LOSS OF CHEMICAL TO STORMWATER RUNOFF. MANUFACTURERS' RECOMMENDATIONS FOR APPLICATION RATES AND PROCEDURES SHALL BE FOLLOWED.</p> <p>5. MEASURES SHALL BE USED TO PREVENT OR TREAT CONTAMINATION OF STORMWATER RUNOFF BY PH MODIFYING SOURCES. THESE SOURCES INCLUDE, BUT ARE NOT LIMITED TO: BULK CEMENT, CEMENT KILN DUST, FLY ASH, NEW CONCRETE, WASHING AND CURING WATERS, WASTE STREAMS GENERATED FROM CONCRETE GRINDING AND SAWING, EXPOSED AGGREGATE PROCESSES, AND CONCRETE PUMPING AND MIXER WASHOUT WATERS. STORMWATER DISCHARGES SHALL NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF THE WATER QUALITY STANDARD FOR PH IN THE RECEIVING WATER.</p>
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CERTIFIED EROSION AND SEDIMENTATION CONTROL LEAD (CESCL) IS REQUIRED FOR CONSTRUCTION DURING THE WET SEASON TO PERFORM WEEKLY INSPECTION AND TO BE ON SITE WITHIN 24-HOURS OF MAJOR STORM EVENT

Permit Number PREA21-0236Parcel Number 888800-0055Applicant Name ANNE & PHILLIP GUADAGNO

Site 14282 OLYMPIC DRIVE SW.

Address VASHON, WA 98070

Engineering
Scale: 1" = NTS

Sheet 2 of 5



Department of Local Services
Permitting Division

Residential Site Plan; Temporary
Erosion & Sedimentation Control
(TESC) Template - 11" x 17"

RECOMMENDED CONSTRUCTION SEQUENCE

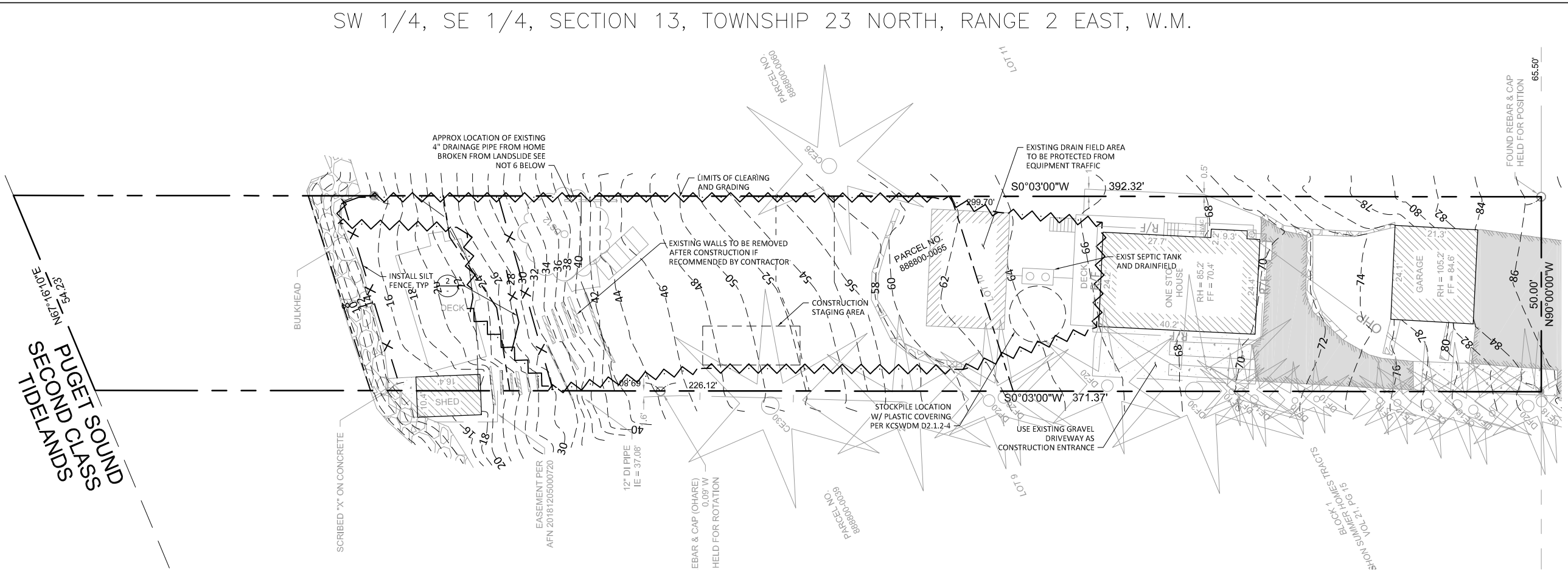
1. Hold the pre-construction meeting, if required
2. Post sign with name and phone number of ESC Supervisor (may be consolidated with the required notice of construction sign).
3. Flag or fence clearing limits
4. Install catch basin protection, if required
5. Grade and install construction entrance(s)
6. Install perimeter protection (silt fence, brush barrier, etc.)
7. Construct sediment ponds and traps, if required
8. Grade and stabilize construction roads
9. Construct surface water controls (interceptor kikes, pipe slope drains, etc.) simultaneously with clearing and grading for project development
10. Maintain erosion control measures in accordance with King Count standards and manufacturer's recommendations
11. Relocate erosion control measure, or install new measure so that as site conditions change, the erosion and sediment control is always in accordance with the King County erosion and Sedimentation Control Standards
12. Cover all areas that will be unworked for more than seven days during the dry season or two days during the wet season with straw, wood fiber, mulch, compost, plastic sheeting, or equivalent
13. Stabilize all areas within seven days of reaching final grade
14. Seed, sod, stabilize, or cover any areas to remain unworked for more than 30 days
15. Upon completion of the project, stabilize all disturbed areas and remove BMP's if appropriate.

Engineering / Drainage Approval

Signature _____
Date _____

Clearing / Grading Approval

Signature _____
Date _____

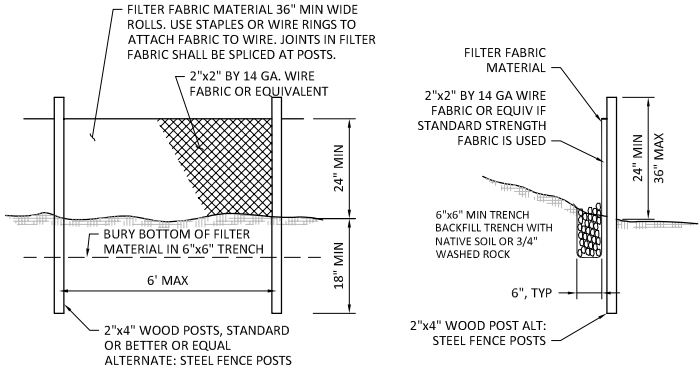


1 TEMPORARY EROSION CONTROL PLAN

SCALE: 1" = 30'

TEMPORARY EROSION CONTROL PLAN NOTES:

1. BEFORE BEGINNING LAND-DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRADING, CLEARLY MARK ALL CLEARING LIMITS.
2. ALL DISTURBED AREAS ON AND OFF-SITE SHALL BE COMPOST-AMENDED PER THE REQUIREMENTS OF REFERENCE 11-C IN THE 2021 KCSWDM.
3. SOILS MUST BE STABILIZED AT THE END OF THE SHIFT BEFORE A HOLIDAY OR WEEKEND IF NEEDED ON THE WEATHERFORECAST.
4. CONCRETE TRUCKS MUST NOT BE WASHED OUT ONTO THE GROUND, OR INTO STORM DRAINS, OPEN DITCHES, STREETS, OR STREAMS. EXCESS CONCRETE MUST NOT BE DUMPED ON-SITE.
5. ADDITIONAL BMPS MAY BE REQUIRED DURING CONSTRUCTION.
6. CONTRACTOR SHALL PROVIDE A TEMPORARY CONNECTION TO REESTABLISH DRAINAGE TO EXISTING OUTLET ABOVE BULKHEAD PRIOR TO WALL CONSTRUCTION.

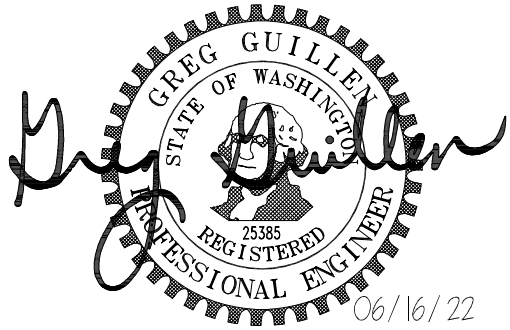


SILT FENCE NOTES:

1. THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM 6 INCH OVERLAP, AND BOTH ENDS SECURELY FASTENED TO THE POST.
2. THE SILT FENCE SHALL BE INSTALLED TO FOLLOW THE CONTOURS (WHERE FEASIBLE). THE FENCE POSTS SHALL BE SPACED A MAXIMUM OF 6 FEET APART AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 18 INCHES).
3. A SHALLOW TRENCH SHALL BE EXCAVATED, ROUGHLY 6 INCHES WIDE AND 6 INCHES DEEP, UPSLOPE AND ADJACENT TO THE WOOD POSTS TO ALLOW THE LOWER EDGE OF THE FILTER FABRIC TO BE SECURED WITH GRAVEL.
4. WHEN FILTER FABRIC NOT AS STRONG AS MIRAFI 700X IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY-DUTY WIRE STAPLES AT LEAST 1 INCH LONG, TIE WIRES OR HOG RINGS. THE WIRE MESH SHALL EXTEND INTO THE SHALLOW TRENCH A MINIMUM OF 4 INCHES AND SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
5. THE MIRAFI 700X FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND AT LEAST 18 INCHES OF THE FABRIC SHALL BE BURIED IN THE SHALLOW TRENCH. THE FILTER FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE AND SHALL NOT BE STAPLED TO TREES.
6. WHEN EXTRA-STRENGTH FILTER FABRIC (MIRAFI 700X OR EQUAL) AND FOUR (4') POST SPACING IS USED, THE WIRE MESH SUPPORT FENCE MAY BE ELIMINATED. IN SUCH A CASE, THE FILTER FABRIC IS STAPLED OR WIRED DIRECTLY TO THE POSTS WITH ALL OTHER PROVISIONS OF NOTE 5 APPLYING.
7. THE TRENCH SHALL BE BACKFILLED WITH NATIVE SOIL OR 3/4\"/>
8. FILTER FABRIC FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED. THE NEWLY DISTURBED AREAS RESULTING FROM SILT FENCE REMOVAL SHALL BE IMMEDIATELY SEEDED AND MULCHED, OR OTHERWISE PERMANENTLY STABILIZED TO THE SATISFACTION OF THE CIVIL INSPECTOR.
9. SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
10. MAINTENANCE: ANY DAMAGED OR CLOGGED FENCE SHALL BE REPAIRED/REPLACED IMMEDIATELY. SEDIMENT MUST BE REMOVED WHEN THE SEDIMENT DEPTH IS 6 INCHES OR GREATER. IF CONCENTRATED FLOWS ARE EVIDENT UPHILL OF THE FENCE, THEY MUST BE INTERCEPTED AND CONVEYED TO A SEDIMENT TRAP OR POND.

2 SILT FENCE

SCALE: NTS



CG PROJECT #: 21076.10

Permit Number XXXXXXXXXXXX Parcel Number 888800-0055 Applicant Name ANNE & PHILLIP GUADAGNO

Site 14282 OLYMPIC DRIVE SW,
Address VASHON, WA 98070

Engineering
Scale: 1" = 30'

Sheet 3 of 5



Department of Local Services
Permitting Division

Residential Site Plan Template
11" x 17"

For Permitting Use

Received Date _____

Max. Impervious Surface Allowed _____

Max. Bldg. Height Allowed _____

Min. Bldg. setback from Street _____

Min. Garage setback from Street _____

Min. Bldg. setback from Interior _____

Signature _____

Date _____

Building Approval

Signature _____

Date _____

Engineering / Drainage Approval

Signature _____

Date _____

Critical Areas Approval

Signature _____

Date _____

Clearing / Grading Approval

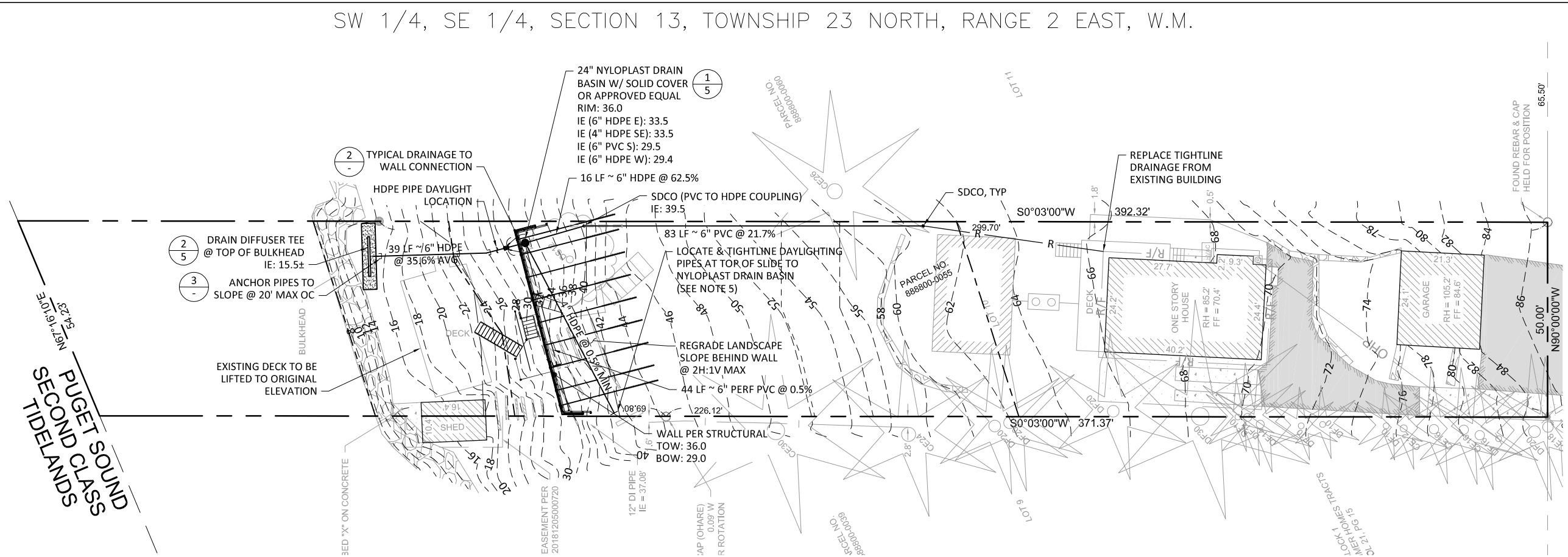
Signature _____

Date _____

Fire Approval

Signature _____

Date _____

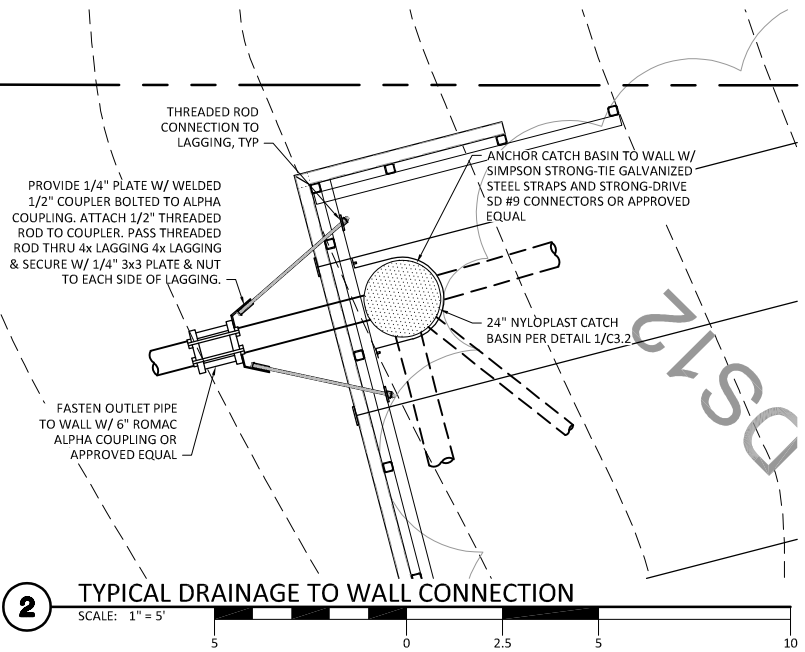


1 GRADING AND DRAINAGE PLAN

SCALE: 1" = 30'

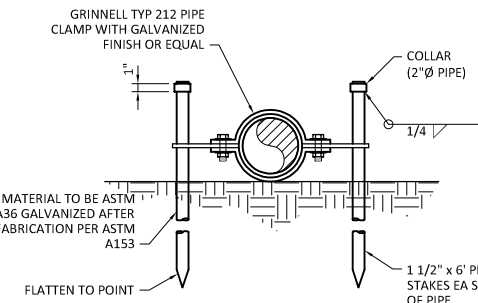
GRADING AND DRAINAGE PLAN NOTES:

1. SOILS REPORT
REPORT NUMBER: 1245721
PREPARED BY: NELSON GEOTECHNICAL ASSOCIATES, INC.
DATED: MAY 13, 2021
2. TOW AND BOW REFER TO FINISHED GRADE AT THE TOP AND BOTTOM OF THE WALLS, RESPECTIVELY.
3. A MINIMUM OF 3' HORIZONTAL SEPARATION AND 1' VERTICAL SEPARATION IS REQUIRED BETWEEN DRY UTILITIES (POWER, GAS, PHONE, CABLE, ETC) AND SEWER, WATER AND STORM, AND A MINIMUM OF 5' HORIZONTAL SEPARATION AND 1' VERTICAL SEPARATION FROM ANY CITY-OWNED LINES.
4. A MINIMUM OF 2' OF COVER IS REQUIRED FOR ALL PIPES LOCATED UNDER DRIVEABLE SURFACES AND 1' OF COVER UNDER LANDSCAPE SURFACES.
5. EXISTING DRAINAGE PIPES HAVE BEEN EXPOSED BY THE RECENT LANDSLIDE. CONTRACTOR SHALL INVESTIGATE THE FUNCTIONALITY OF THESE DRAIN PIPES AND TIGHTLINE THESE TO THE NEW CATCH BASIN AT THE EAST END OF THE WALL.



2 TYPICAL DRAINAGE TO WALL CONNECTION

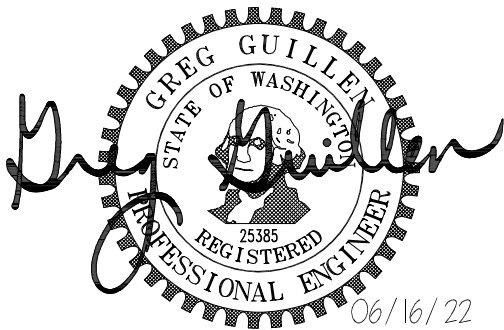
SCALE: 1" = 5'



3 PIPE ANCHOR DETAIL

SCALE: NTS

NOTE:
CERTIFIED EROSION AND SEDIMENTATION CONTROL LEAD (CESCL) IS REQUIRED FOR CONSTRUCTION DURING THE WET SEASON TO PERFORM WEEKLY INSPECTION AND TO BE ON SITE WITHIN 24-HOURS OF MAJOR STORM EVENT



CG PROJECT #: 21076.10

Permit Number PREA21-0236

Parcel Number 888800-0055

Applicant Name ANNE & PHILLIP GUADAGNO

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Engineering
Scale: 1" = 30'

Sheet 4 of 5



Department of Local Services
Permitting Division

Residential Site Plan Template
11" x 17"

For Permitting Use

Received Date _____

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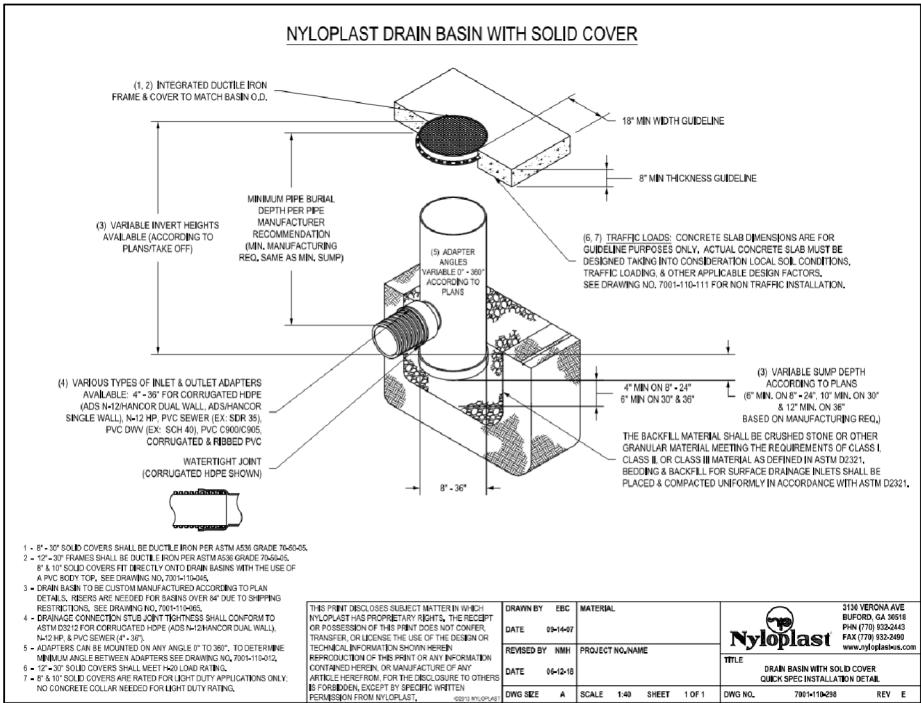
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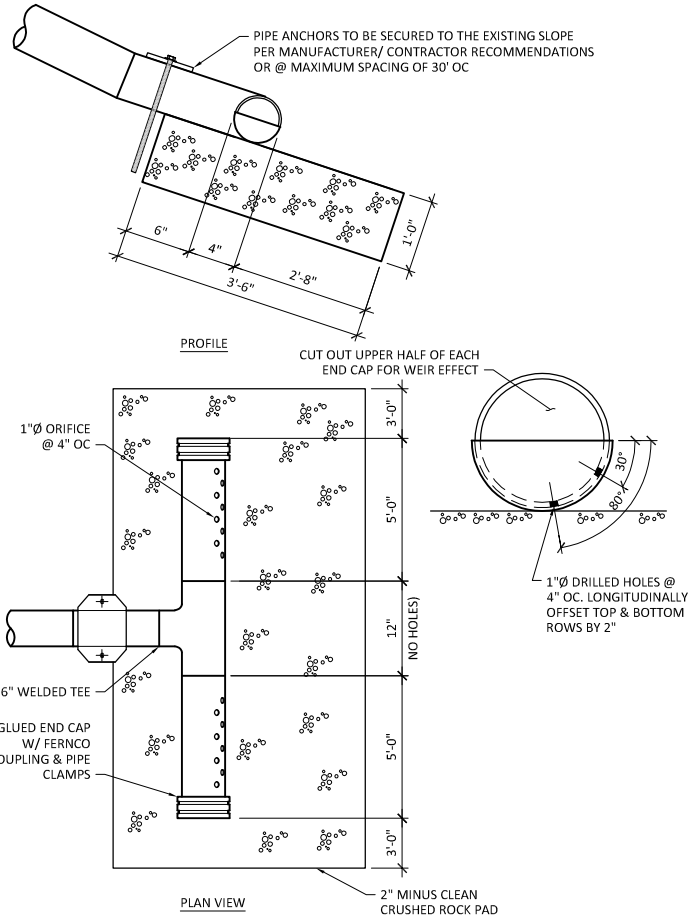
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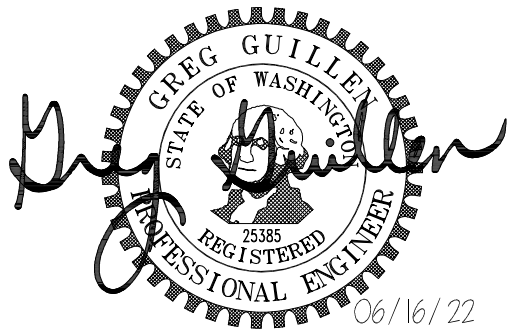
SW 1/4, SE 1/4, SECTION 13, TOWNSHIP 23 NORTH, RANGE 2 EAST, W.M.



1 STANDARD NYLPLAST DETAIL
SCALE: NTS



2 DRAIN DIFFUSER TEE DETAIL
SCALE: NTS



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Sheet 5 of 5