

White Center Community HUB

10821 8th AVE SW SEATTLE, WA 98146

KING COUNTY CUP APPLICATION SET

2021-0423

SUNDBERG KENNEDY LY-AU YOUNG

ARCHITECTS

1501 E MADISON, SUITE 205 SEATTLE WA 98122-4465 206.322.1130

PROJECT INFORMATION

<u>PROJECT SCOPE:</u> THE PROPOSAL IS A 80,050 SQFT, 4- STORY MULTI- FAMILY HOUSING STRUCTURE WITH 76 LOW INCOME UNITS. UNITS INCLUDE MOSTLY 2 AND 3 BEDROOMS CATERING

HOUSING COMMUNITY NON- PROFIT ORGANIZATIONS AND SOCIAL SERVICES INCLUDING HEALTH COMMUNITY DEVELOPMENT ASSOCIATION AMONG OTHER COMMUNITY AMENITIES. THE

BETWEEN THE 2 BUILDINGS IS A PAVED COMMUNITY OPEN SPACE. SEE THE SITE PLAN ON SHEET A100 AND VICINITY MAP ON SHEET A0.10.

SURFACE PARKING WILL BE PROVIDED FOR THE RESIDENTIAL UNITS AND COMMERCIAL BUILDING ON SITE. THE PROJECT WILL ALSO INCLUDE NEW UTILITIES, PAVEMENT AND LANDSCAPING.

PROJECT ADDRESS: 10821 8TH AVE SW SEATTLE WA 98146 LOT AREA: 122,317 SF (2.808 ACRES)

LEGAL DESCRIPTION: LOT 2 KC EXEMPT SEGREGATION # EMSC15-0026 REC #20160108900001 SD EXEMPT SEGREGATION BEING POR OF E 1/2 OF SE 1/4 OF SW 1/4 & POR SW 1/4 OF SE 1/4 STR 06-23-04 TGW POR OF N 1/2 OF E 1/2 OF NE 1/4 OF NW 1/4 & POR OF N 1/2 OF W 1/2 OF NW 1/4 OR NE

CURRENT ZONE: R-18, NO CHANGE

SEWER SYSTEM SERVICE ON SITE PROVIDED BY SOUTHWEST SUBURBAN SEWER DISTRICT EXISTING WATER- NO SERVICE CHANGE: WATER SYSTEM SERVICE ON SITE PROVIDED BY SEATTLE PUBLIC UTILITIES

FIRE DISTRICT:NORTH HIGHLINE FIRE DISTRICT, KING COUNTY FIRE DISTRICT #2 SCHOOL DISTRICT: HIGHLINE SCHOOL DISTRICT

TABLE OF CONTENTS SURVEY SHEET 1 OF 3 SURVEY SHEET 2 OF 3

SURVEY SHEET 3 OF 3 A0.01 ZONING CODE ANALYSIS A1.00 SITE PLAN A1.01 WETLAND BUFFER AVERG. & FIRE DIAGRAM A2.10 FLOOR PLANS A3.10 SITE SECTIONS C101 DRAINAGE PLAN L101 TREE PROTECTION PLAN

L101.1 TREE PROTECTION SCHEDULE

L101.2 TREE PROTECTION SCHEDULE

L102.2 LANDSCAPE SCHEDULE

L102.3LANDSCAPE PLAN D1.00 SITE DEMO PLAN

CONDITIONAL USE PERMIT SUBMITTAL DOCUMENTS WATER AVAILABILITY CERTIFICATE SEWER AVAILABILITY CERTIFICATE FIRE DISTRICT RECEIPT DRAINAGE ANALYSIS SEPA CHECKLIST

TRAFFIC IMPACT ANALYSIS CRITAL AREAS REPORT GEOTECHNICAL REPORT COPY OF VARIANCE SUBMISSION L102.1 LANDSCAPE REQUIREMENT CALCULATIONS SIGNED LEGAL DESCRIPTION CRITICAL AREA AFFIDAVIT

CERTIFICATION OF APPLICATION STATUS

PARKING ASSESSMENT

CONTACT

OWNER: WHITE CENTER COMMUNITY DEVELOPMENT ASSOCIATION AND COMMUNITY ROOTS HOUSING

CONTACT AARON GARCIA aaron@wccda.org

605 SW 108TH STREET SEATTLE WA 98146 PHONE: 206-694-1082

COMMUNITY ROOTS HOUSING 1620 12TH AVE SUITE 205 SEATTLE WA 98122 PHONE: 206-329-7303
CONTACT: MASON CAVELL mcavell@communityrootshousing.org

ARCHITECT OF RECORD: SUNDBERG KENNEDY LY AU YOUNG ARCHITECTS
1501 EAST MADISON STREET SUITE 250
SEATTLE WA 98122
PHONE: 206-322-1130
CONTACT: GLADYS LY AU YOUNG gladys@sklarchitects.com

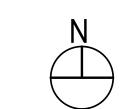
10801 MAIN STREET SUITE 102 CONTACT: SUPPORT@TERRANE.NET

CIVIL ENGINEER LANDSCAPE: MIG/ SVR 615 2ND AVE #280 SEATTLE WA 98104

PHONE: 206-223-0326 CONTACT: MARK DAVIES mdavies@migcom.com DAVE ROGERS drodgers@mig.com TRAFFIC ENGINEER: HEFFRON TRANSPORTATION INC

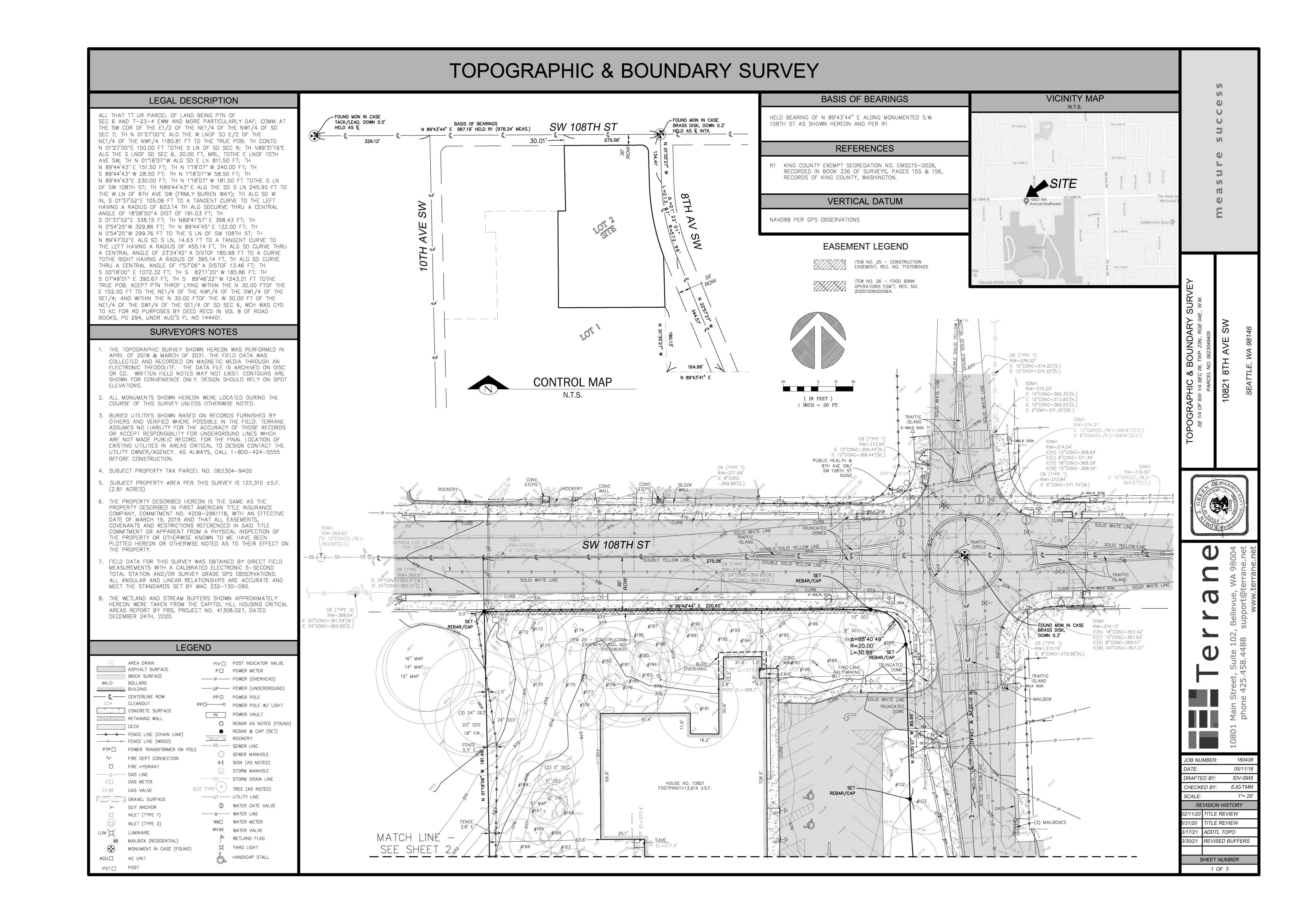
6544 NE 61ST STREET SEATTLE WA 98115 PHONE: 206-523-3939 CONTACT MARNI HEFFRON marni@hefftrans.com

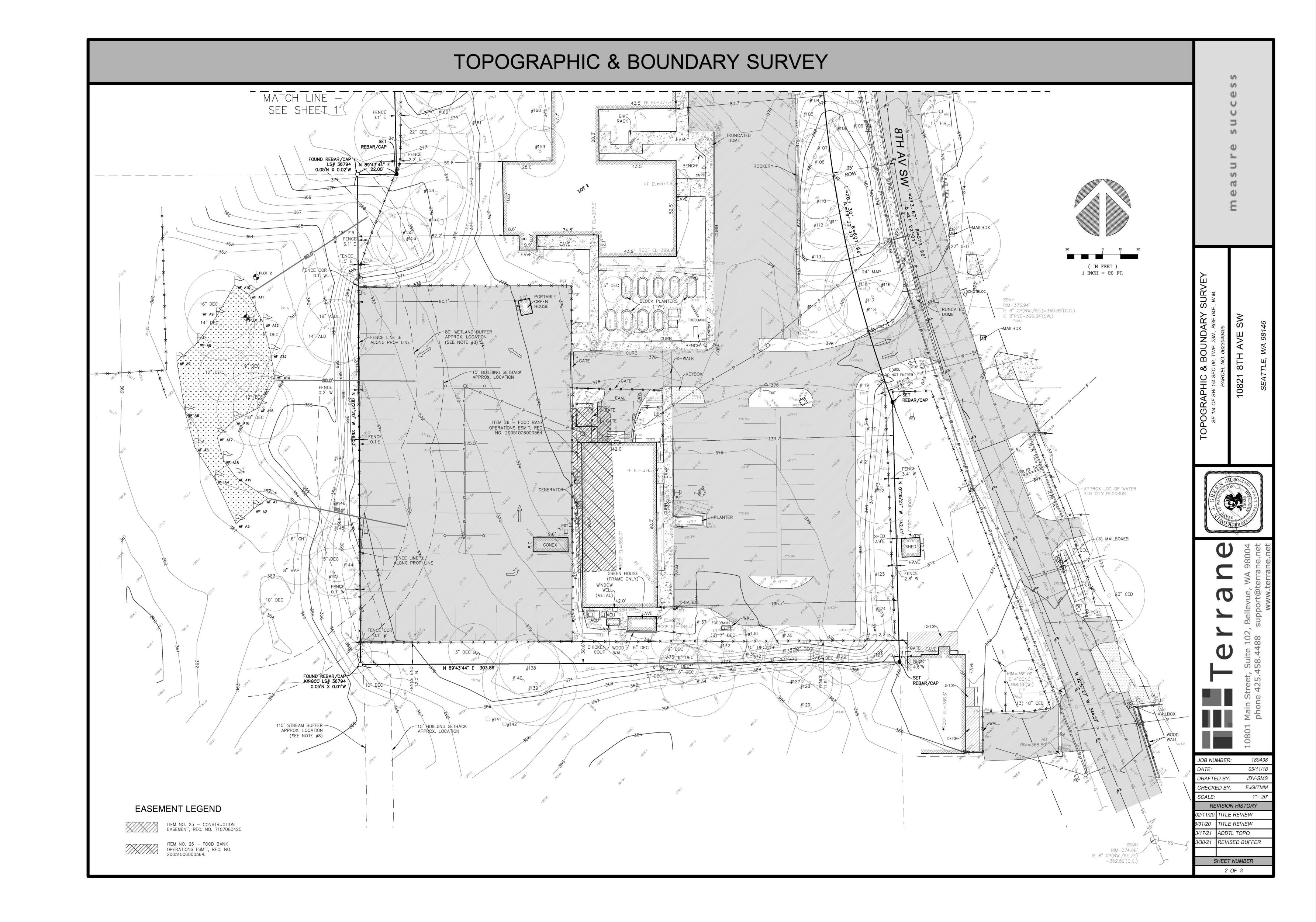
AREA MAP WITH ZONING INFOMRATION NOT TO SCALE

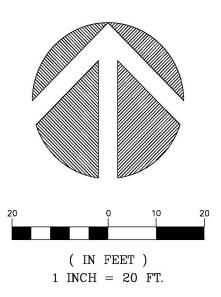


PERMITTING IDENTIFICATION STAMPS









JOB NU	MBER:	180438
DATE:		05/11/18
DRAFTE	D BY:	IDV-SMS
CHECK	ED BY:	EJG/TMM
SCALE:		1"= 20'
RE	VISION	HISTORY
02/11/20	TITLE F	REVIEW
3/31/20	TITLE F	REVIEW

17/21 ADDTL TOPO 0/21 REVISED BUFFER

SHEET NUMBER 3 OF 3

SCHEDULE B ITEMS SCHEDULE B ITEMS 16. EASEMENT, INCLUDING TERMS AND PROVISIONS CONTAINED THEREIN: RECORDED: OCTOBER 01, 1927 RECORDING INFORMATION: 2413723 30. TERMS, COVENANTS, CONDITIONS, RESTRICTIONS, EASEMENTS, IN FAVOR OF: PUGET SOUND ENERGY, INC., A WASHINGTON BOUNDARY DISCREPANCIES AND ENCROACHMENTS AS CORPORATION CONTAINED IN RECORDED KING COUNTY EXEMPT SEGREGATION NO. FOR: ELECTRIC TRANSMISSION AND/OR DISTRIBUTION SYSTEM RECORDED: JANUARY 08, 2016 (EASEMENT IS SOUTH OF PROPERTY (NOT ADJOINING) AND IN RECORDING INFORMATION: 20160108900001 QUARTER SECTION TO THE EAST. (DOES NOT ENCUMBER SUBJECT (CURRENT CONDITIONS SHOWN HEREON) PROPERTY) 31. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT 17. RIGHT TO MAKE NECESSARY SLOPES FOR CUTS OR FILLS UPON ENTITLED "CUSTODIAL TRANSFER AGREEMENT" SAID PREMISES AS GRANTED BY DEED RECORDED MARCH 21, 1940 RECORDED: APRIL 29, 2016 UNDER RECORDING NO. 3091891 AND 3091892. RECORDING NO.: 20160429001204 (NOT PLOTTED, FALLS 300 FEET WEST OF SITE, DOES NOT (NOT PLOTTED, DOES ENCUMBER SUBJECT PROPERTY) ENCUMBER SUBJECT PROPERTY) 32. CONDITIONS, NOTES, EASEMENTS, PROVISIONS AND/OR 18. EASEMENT, INCLUDING TERMS AND PROVISIONS CONTAINED ENCROACHMENTS CONTAINED OR DELINEATED ON THE FACE OF THE THEREIN: SURVEY RECORDED UNDER RECORDING NO. 20181018900014. CONDEMNED IN U.S. WESTERN (CURRENT CONDITIONS SHOWN HEREON) DISTRICT COURT CAUSE NUMBER: 624 IN FAVOR OF: THE UNITED STATES OF AMERICA FOR: TO REPAIR, REPLACE AND USE SEWER PIPELINES

SAID EASEMENT IS ALSO RECORDED UNDER RECORDING NUMBER

(NOT PLOTTED, CLOSEST PART OF EASEMENT IS 200 FEET +- WEST OF SUBJECT PROPERTY, DOES NOT ENCUMBER SUBJECT PROPERTY)

SAID EASEMENT RIGHTS WERE ASSIGNED TO THE SOUTHWEST

19. EASEMENT, INCLUDING TERMS AND PROVISIONS CONTAINED

(NOT PLOTTED, FALLS 200 FEET SOUTH OF SUBJECT PROPERTY,

20. EASEMENT, INCLUDING TERMS AND PROVISIONS CONTAINED

(NOT PLOTTED, LOCATION OF ROAD, SEWER LINE AND POWER POLES NOT DESCRIBED IN DOCUMENT, DOES ENCUMBER SUBJECT PROPERTY)

21. RIGHT TO MAKE NECESSARY SLOPES FOR CUTS OR FILLS UPON

(NOT PLOTTED, EASEMENT LIES BETWEEN 6TH AVE. SW AND 4TH

22. EASEMENT, INCLUDING TERMS AND PROVISIONS CONTAINED

IN FAVOR OF: THE HOUSING AUTHORITY OF THE COUNTY OF KING,

(NOT PLOTTED, DOES NOT ENCUMBER SUBJECT PROPERTY, FALLS

23. EASEMENT, INCLUDING TERMS AND PROVISIONS CONTAINED

(NOT PLOTTED, DOES NOT ENCUMBER SUBJECT PROPERTY, FALLS

24. RIGHT TO MAKE NECESSARY SLOPES FOR CUTS OR FILLS UPON SAID PREMISES AS GRANTED BY DEED RECORDED JULY 08, 1971

(NOT PLOTTED, DOES ENCUMBER SUBJECT PROPERTY, REFERS TO 20 FOOT RADIUS AT NORTHEAST CORNER OF SUBJECT PROPERTY.)

25. EASEMENT, INCLUDING TERMS AND PROVISIONS CONTAINED

FOR: THE RIGHT TO LOCATE EQUIPMENT AND TO WORK ON SAID LAND FOR THE PURPOSE OF CARRYING ON CONSTRUCTION ACTIVITIES

26. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "FOOD BANK OPERATIONS EASEMENT AND AGREEMENT"

27. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT

(NOT PLOTTED, FALLS 400 FEET EAST OF SUBJECT PROPERTY, DOES

(NOT PLOTTED, FALLS 400 FEET EAST OF SUBJECT PROPERTY, DOES

(NOT PLOTTED, LOCATION OF STORM WATER MAINTENANCE ARE ONLY

SHOWN GEOGRAPHICALLY, DOES ENCUMBER SUBJECT PROPERTY)

28. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT

29. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT

AVE. S.W.IN SW 180TH ST -600 FEET TO EAST, DOES NOT

IN FAVOR OF: SOUTHWEST SUBURBAN SEWER DISTRICT FOR: SEWER WITH THE NECESSARY APPURTENANCES

SUBURBAN SEWER DISTRICT BY DEED RECORDED

UNDER RECORDING NUMBER 4551216.

RECORDING INFORMATION: 4693732

RECORDING INFORMATION: 4704076

ENCUMBER SUBJECT PROPERTY)

RECORDING INFORMATION: 5539478

1300 FEET SOUTH OF SUBJECT PROPERTY)

RECORDING INFORMATION: 7106150445 IN FAVOR OF: KING COUNTY, WASHINGTON

UNDER RECORDING NO. 7107080424.

RECORDING INFORMATION: 7107080425 IN FAVOR OF: KING COUNTY, WASHINGTON

RECORDED: OCTOBER 06, 2005 RECORDING NO.: 20051006000564

RECORDED: DECEMBER 28, 2011 RECORDING NO.: 20111228001182

RECORDED: DECEMBER 28, 2011 RECORDING NO.: 20111228001185

NOT ENCUMBER SUBJECT PROPERTY)

NOT ENCUMBER SUBJECT PROPERTY)

ENTITLED "DECLARATION OF COVENANT"

RECORDED: SEPTEMBER 10, 2012 RECORDING NO.: 20120910000742

(PLOTTED, DOES ENCUMBER SUBJECT PROPERTY)

(PLOTTED, DOES ENCUMBER SUBJECT PROPERTY)

ENTITLED "ASSIGNMENT AND ASSUMPTION OF USE

ENTITLED "MEMORANDUM OF SUB-USE AGREEMENT"

FOR: A ROAD

THEREIN:

WASHINGTON

FOR: SLOPES

THEREIN:

AGREEMENT"

EAST OF 8TH AVE. S.W.)

FOR: STORM SEWER

DOES NOT ENCUMBER SUBJECT PROPERTY)

SAID PREMISES AS GRANTED BY DEED RECORDED OCTOBER 03, 1961 UNDER RECORDING NO. 5336589.

	CENTER HUB	Vele			last updated 3/3/21
	NG CODE ANAL				
21A	14.220	Fences	6' max unless not in setback zone	N/A no fences proposed, except low wetland buffer split rail fence.	
21 A	CHAPTER 16	LANDSCAPE AND WATER			
	16.010	Purpose Purpose	Visual relief from large parking areas, shield large	Parking has been designed to a) save significant	
			buildings, retain existing vegetation, more permeable surfaces for improved stormwater management, native plants, wildlife promotion.	trees at northwest portion of site, and b) re-use existing parking lot at the southwest portion of site to limit impacts.	
21A	16.010	Landscaping Screens	Type 1 = full screen. Type 2 = filtered screen Type 3 = See-through screen		
21A	16.050	Street Landscaping	Ten feet average width type 3 for apartment/townhouse/commercial. 20' average type 2 for institutional (Community Social Services Building is assumed institutional- but not applicable- does not face street lot line)	Ten feet average Type 3 typical at Apartment Building, including maintaining existing perimeter landscape. Refer to Landscape plan. OK	
21A	16.060	Interior Lot Lines	Average width, Twenty feet type 1 for commercial against residential. Five feet type 2 for apartments, but ten feet adjacent to R-1 to 8.	10' and 20' buffers proposed to surrounding residential lots, depending on use- OK. Reduced buffer/screening proposed at Park boundary for safety and interaction between uses- variance.	Variance proposed to allow reduced landscape screening between Park and Community Center for safety and interaction between uses.
21A	16.070	Parking	20 SF landscape per stall residential, similar for commercial. Approx 1 tree per 5 stalls. (1 per 3 commercial). Some perimeter landscape can count toward parking landscape	Parking landscape requirements are primarily met by saving existing perimeter landscape, including large madrona tree at north end of site. Refer to Landscape Plan for details. OK	
21A	16.115	Landscape Plan	Detailed plan by registered LA is required.	See landscape plan included in CUP set. OK	
21A	16.1167	Significant Tree Definition	Existing healthy tree that is not a hazard tree, with min. diameter of 8" evergreen, 12" deciduous (4.5 feet above	Informational	
16	82.156	Significant Tree Retention- In Required Landscape Perimeter	grade) Within urban growth area. Driveway, pedestrian, and utility access points to site are exempt. Keep 100% of significant trees in required perimeter landscape areas (75% at street perimeters).	Refer to landscape plan for tree retention information.	
16	82.156	Significant Tree Retention- In Interior of Site	Within urban growth area. For apartments and commercial, retain ten trees per acre or 5%, whichever is greater. 10 x 2.81 = 28 trees to be retained (if existing and significant).	Refer to landscape plan for tree retention information.	
16	82.156	Significant Trees- Process	Inventory trees, submit plan for review. DO NOT INCLUDE significant trees not able to survive more than 10 years due to damage/disease/safety, etc.	Refer to arborist report submitted with CUP	
16	82.156	Significant Trees- Bonuses	1 significant tree is credited as 2 significatnt trees IF: Greater than 18" dia, located in a grouping of at least 5 trees with canopies overlapping, provides energy savings to buildings, unique species, or within 25' of critical area buffer.		
16	82.156	Significant Trees- Replacement	If necesssary, significant trees can be replaced assuming each significant tree is 12" in diameter, and new trees need to add up in different ways to align depending on caliper.	Refer to landscape plan for tree replacement information.	
21Δ	CHAPTER 18	PARKING			
	18.030	Off-Street Parking Quantity: Residential	Baseline: 1 per unit for affordable housing developments per 34.080.	Refer to Heffron Transportation Technical Memorandum for Parking Quantity Analysis	Adjusted parking requirements propose per 21A.030.B.
21A	18.030	Off-Street Parking Quantity: Non-Residential	1 per 300 SF for general services, similar for clinics. Daycare 1: 2 per facility. Assembly Hall: 1 space per 50 SF	Refer to Heffron Transportation Technical Memorandum for Parking Quantity Analysis	Adjusted parking requirements propose per 21A.030.B.
21A	18.030	Parking Reduction Option	B. If demonstrated by a transportation engineer that a reduced parking requirement will adequately meet anticipated capacity, then director may reduce parking by up to 50%. Baseline parking, per matrix below, is 174 spaces. 50% is 87 spaces minimum required.	87 total parking spaces proposed (50% of baseline required). Refer to Heffron Transportation Technical Memorandum for Parking Quantity Analysis, which estimates Cumulative Peak Parking Demand at 77.	Adjusted parking requirements propose using ITE standards and King County Right-Sized parking manual- see Preapplication meeting notes.
21A	18.030	Bike Racks	1 bike space for every 12 car spaces. 87/12 = 8 community spaces required. Increase if required by location. If more than 10 employees on site, use locker type bike storage area. One indoor bike space for every two units to be provided. 38 indoor Residential Required. Provide bike access points to site.	Residential: Bike storage area for 40 bikes proposed at Lower Level of Apartment Building. Community Center: Bike rack for 12 bikes proposed. OK	
21A	18.040	Shared Parking	Amount determined by director, up to a maximum of 10% for each use unless traffic report can justify additional sharing. Note 20% maximum allowed for mixed uses at 14.135. Covenant required.	Refer to Heffron Transportation Technical Memorandum for Parking Quantity Analysis	Adjusted parking requirements propose per 21A.030.B.
21A	18.070	Loading Space	Only required for retail, wholesale, manuf., or storage. N/A	N/A	
		Parking Space Sizes	See chart. For basic perpendicular, use 8.5' x 18' regular (8' x 16' is compact), 24' 2 way aisle. 50% COMPACT ALLOWED	50% compact spaces proposed	
21A	18.030	Baseline Parking Quantity Calculation Method	Off-street parking ratios expressed as spaces per SF means "usable or net square footage of floor area, exlusive of non-public areas. Non-public areas include maintenance areas, closets, storage areas, or restrooms."	Baseline parking quantities are based on usable/net floor area as noted.	

PAGE 3

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	12.220	Non Residential in Residential Zones- Setbacks	30' setback required to all property lines (applies only to non-residential use Social Services Building per 21A12.120).	30' setback for Social Services building is proposed at East and West, with variance to 18' setback proposed at South (Park) lot line = Variance	Variance proposed for 18' set south property line at Park (zo residential but not a residential
21A	12.220	Non Residential in Residential Zones- Parking in Setback	Parking can be located in setback if out of landscaping zone.	Refer to site plan for new and existing parking located in setback, but not landscape buffer, = OK	
	12.220	Non Residential in Residential Zones- Lighting	Controlled illumination- no direct rays to street or neighbors.	Shielded lighting proposed = OK	
21A	12.220	Non Residential in Residential Zones- Height	Base height shall conform with zone in which use is located (60' R-18).	Height is below 60' = OK (see height limits above)	
21A	12.230	Non Residential in Residential Zones- Personal Services	5,000 sf per establishment, see specific requirements (not listed here) for parking, etc.	Not applicable	
21A	12.250	Non Residential in Residential Zones- Office/Outpatient	Office/Outpatient Clinic (SIC #801-04), is allowed as conditional use in R-18 in a mixed-use development with 100% affordable housing serving househoulds under 60%AMI, in accordance with King County Housing Plans. 2 per 1,000 SF parking ratio maximum, not between business and street.	Approximately 2,500 SF Health Clinic in Community Services Building. Parking quantity proposed as part of mixed-use development per ITE Parking Generation Manual. Please refer to Heffron Transportation Technical Memorandum included with submittal. Parking proposed in existing lot between business and street.	Parking for the mixed use dev proposed between building an existing lot due to site locatio to Park. See pre-application n notes and item 21A.15.135 bel
21A	CHAPTER 14	DEV. STANDARDS- DESIGN			
21A	14.060	Townhouse Façade	Limited to 200 feet long up to R-8 zones	N/A	
	14.080 14.090	Parking Location with Alley Façade Modulation	Not applicable- only for sites with alleys Only required adjacent to R-1 through R-4 (n/a)	N/A N/A (neighboring lots are R-6 to R-8)	
	14.110, 130	Mixed Use Development- Percentage Residential Floor Area, Building Floor Area	Not applicable R-18 zone. (FAR for non-residential is listed at 21A.14.130 but only for RB zones).	N/A	
21A	14.120	Mixed Use Development- Base residential Density	Base residential density for mixed use developments shall be determined using entire site area.	Entire site area used for Base Residential Density Calculation = OK	
21A	06.753	Mixed Use Definition	Combination of residential and non residential in same building or site as part of an integrated development project with functional interrelationships and coherent physical design.	Project meets this definition = OK	
21A	14.135	Mixed Use Development- Design	If in same structure, non-residential uses must be in base of builidng (n/a).	N/A	
21A	14.135	Mixed Use Development- Parking Location	Off-street parking should be to the side or behind the building (or enclosed), however, the director may allow parking in front if no other option.	Parking is proposed between buildings and street as only viable option to avoid parking lots facing Park. It is also proposed in order to re-use existing lot, to provide a large public plaza requested by the community, and to increase setback between new buildings and surrounding single family residential areas.	Director's approval of proposition is requested. See preapplication meeting notes.
21A	14.135	Mixed Use Development- Parking Quantity	20% reduction for shared parking is allowed if mixed-use evelopment meets cireria of 21A 18.040.	Shared parking proposed. Please refer to Heffron Transportation Technical Memo submitted with the CUP.	
21A	14.145	Mixed Use Development- Phasing	If buildings on a mixed-use site are separate, and built at different times, utility plans for the entire site must be permitted, along with covenants for future phased work.	TBD	
21A	14.180	On-Site Recreation Space- Size Calculation	4. 1BR 90 SF per unit x 17 units = 1,530SF. 2BR/3BR/4BR 170 SF per unit x 59 units = 10,030SF TOTAL: 11,560 SF If 100% affordable, RDI projects can reduce to 50% of the levels required by 21A.14. (per 34.080E) = 5,780 SF	6,000 SF provided > 5,780 = OK	
21A	14.180	On-Site Recreation Space- Design Standards	Design standards: located on site, 5% max grade, suitable for passive and active recreation, centrally located, minimum 30' wide.	Plaza is centrally located, less than 5% grade, minimum 30' wide = OK	
21A	14.180	On-Site Recreation Space- Amenities Required	Tot/Children's area required, plus one recreational amenity for every 25 units = 3 amenities + 1 tot lot = 4 total. If 100% affordable, RDI projects can reduce to 50% of the levels required by 21A.14. (per 34.080E). Reduce to (2) required total including tot lot.	One tot lot and one sport court proposed for a total of (2) amenities = OK	
21A	14.190	On-Site Play Areas	Minimum size 40 SF/unit. 76 Units x 40 = 3,040 SF minimum. If 100% affordable, RDI projects can reduce to 50% of the levels required by 21A.14. 1,520 SF Required. (per 34.080E). Not required if next to park, accessible without crossing street. Meet consumer product safety standards for equipment, soft surfacing, and spacing.	Tot lot not required due to Park adjacency, but provided at approximately 1,500 SF. CPS standards to be met for equipment, soft surfacing, and spacing.	
21A	14.210	Storage for Recycle	1.5 SF per dwelling unit (unless individual curbside pick up). 2 SF per 1,000 SF of office, ed, institutional development. 76 units x 1.5 = 114 SF residential . 25K SF community center x 2 = 50 SF community center. Collection points to be dispersed for multiple buildings at one collection point for every 30 residences, shielded.	A central 114 SF outdoor recyclable collection area is proposed for Residential, within 200 feet of common entrance. Dispersed facilities are not proposed since most people will use central elevator to deposit recyclables. A 50 SF outdoor recyclable collection area is proposed for the Community Center.	Minor revision to dispersion or residential recyclable collection proposed due to central eleva path.

WCHUB Baseline On-Site Parking Calculation (.50 or more = round up, .49 or less, round down) Per 21A.18.030 B: An applicant may request parking reduction by showing that parking demand can be met (i.e. demand study). Director may approve up to 50% of the minimum required number of spaces. SPACES REQD CODE SECTION Projects with 100 percent affordable housing shall AFFORDABLE APARTMENTS 76 21A 18.34.080 provide one off-street parking space per unit COMMUNITY SERVICE BUILDING (LL+L1) 17.7 Table 21A 18.030A Includes WCCDA, FEEST+Kitchen, Yes! TOP FLOOR CLINIC (L2) 8.3 Table 21A 18.030A SWYFS = Southwest Youth and Family Services" Includes TOP FLOOR SWYFS- social services 15.7 Table 21A 18.030A a small Type 1 Day Care room, 500 SF (3) Classrooms each serve 17 High School aged SWYFS LOWER FLOOR (3) CLASSROOMS students: 1 per classroom = 3 spaces + 1 per ten 8 Table 21A 18.030A students- 51 students = **5 spaces**, **TOTAL**: **8 spaces**. AND SURROUNDING SPACE COMMUNITY ROOM 48.0 Table 21A 18.030A TOTAL REQUIRED BY CODE MINIMUM ALLOWED IF CONFIRMED BY ANALYSIS (50%) **86.8** 21A 18.030 B Reduction up to 1/2 is allowed if confirmed by analysis PROVIDED ON SITE DELTA

PAGE 2

NSF CHECK- community building

19,400

WHITE CENTER HUB last updated 3/3/21 ZONING CODE ANALYSIS Site Address 10821 8th Ave SW 98146 Parcel Number 062304-9405 Site Description 122,317 SF = 2.81 Acres, relatively flat, with drop off to park of about 10' to south and west. Code Reference King County Title 21A Zoning R-18 Urban Residential Existing Uses Medical, Dental, Office, Food Bank, per King County Parcel Data KC Project #PREA20-0142, Thursday, Aug. 27th, 2020. Pre-Application Meeting See notes attached separately. ALLOWED/ REQUIRED NOTES/DEPARTURES SECTION 21A CHAPTER 4 ZONES AND DESIGNATIONS General Description of R Purpose of urban residential (R) zone is to implement info only 21A 04.080 comprehensive plan goals for housing quality, *diversity* and affordability, and to efficiently use (R) land, public services, and energy. R-12 through R-48 is predominantly apartments and townhouse units. 21A CHAPTER 8 PERMITTED USES 21A 08.030 Table R-18 Allowable Uses-Permitted: Single family detached, Townhouses, 76 Affordable Apartment Units. 100% are affordable. Permitted: Park, trail, aboretum, Library, Museum (with community meeting). Permitted: "Conference Center"

2,400 SF Community Meeting Room is included in Community Meeting Room is assumed to Social Services building below (directly adjacent to be part of Social Services building, rather Death). 21A 08.040 Table R-18 Allowable Uses-Recreational and Cultural than a "conference center"- see next line. accessory to Park. Conditional: "Conference Center" Park). 21A 08.050 Table

R-18 Allowable Uses- General Services

General Personal Services (up to 5K SF per establishment), "Day Care 2", "Health Office, Outpatient Clinic, and a 2,400 SF Community Room = CUP.

R-18 Allowable Uses- General Permitted: Day Care 1 Conditional: Social Services, General Services (up to 5K SF per establishment), "Day Care 2", "Health Office, Outpatient Clinic, and a 2,400 SF Community Room = CUP.

Conditional Use Requested for Community Services Building, including Offices, Classrooms, 2,500 SF Day Care 1 Facility, and a 2,400 SF Community Room = CUP. 21A 08.080 Table R-18 Allowable Uses- Retail Permitted: Variety stores up to 5K SF (with communit 400 SF Tea shop proposed at Community/Social input meeting), Food Stores up to 5K SF (with community Services building. Other small "pop-up" stores input meeting), Eating and Drinking Places up to 5K SF may be located adjacent to Lobby, all under 5,000 (with community input meeting) SF. Community input meeting has been held. = Group care for non-resident adults or children. "Day Short term approximately 500 SF "Day Care 1" Care 1": 12 kids/adults Max. per day "Day Care 2" more facility proposed in Social Services building for 21A 06.265 Day Care Definition use by visitors while they are on-site 21A CHAPTER 12 DEVELOPMENT STANDARDS (note: use R-24 standards per 34.080) 21A 12.030 Table Base Density Units/Acre R-18 = 18 dwelling units per acre x 2.81 acres = 50.58 = 51 Base Unit Density 51 UNITS (note that unit counts .5 and above round up proposed per 21A.34 "Residential Density per 12.070.D) Incentives" (RDI) 21A 12.030 Table Maximum Density Units/Acre- R-18 = 27 dwelling units per acre x 2.81 acres = 76 UNITS PROPOSED = OK Increased density beyond baseline is Using incentives per 21A.34 UNITS (note that unit counts .5 and above round up per proposed per 21A.34 "Residential Density Incentives" (RDI) **21A 12.030 Table Minimum Density Units/Acre** R-18 = 75% see 21A.12.085 (base density 18 x 2.81 76 proposed > 35 required = **OK** acres = 51 x .75 = 38 minimum 21A 12.030 Table Minimum Lot Size No minimum lot area, minimum 30' wide Lot exceeds 30' width = OK 21A 12.030 Table Street Setbacks 10' street setback. (footnote 8: note 20' lenth required for All street setbacks exceed 10' = OK. No carports, driveway to garage, carport or fenced parking). garages, or fenced parking is proposed. 5' baseline. Per footnote 10, 20' setback reequired for Property abuts residentially zoned lots on South, Variance proposed for 18' setback to south 21A 12.030 Table Interior Setbacks (to other Apartments abutting R-1 through R-8 zones. Per 21A
12.220, a 30' setback is required for non-residential uses
East and West. 20' setback proposed for
Apartments = **OK**. 30' setback for Social Services
not a residential use). See 21A 12.220 building is proposed at East and West, with below. abutting residential zones. variance to 18' proposed at South (Park) lot line = 21A 12.030 60' base height limit for R-18 Social Services Building: approx. 30' tall = OK 21A 12.030 Maximum Impervious Surface 85 % R-18. However, 21A.12.220 allows only up to 80% xx,xxx SF > 24,500 SF = OK for non-residential land uses in R12 through R48 Zones. In lieu of pro-rating between uses, the most restricitve 80% is proposed: 122,317 x .2 = 24,500 SF pervious surface required. 21A 12.070 Calculations- Density B. maximum density is base density plus density

See density calculations above incentive bonus per Chapter 34. BUT limited by 27du/ac by table at 12.030. Calculations- Allowed Floor C. "Allowed floor area" noted, but no requirements found N/A 21A 12.070 for this site, except for limits on retail SF. 21A 12.080 Site Area Used for All site areas may be used for base and maximum 2.81 Acre site used for density calcutions. allowed residential density Calculations 21A 12.220 Non Residential in Residential 80% impervious surface max., non residential use in R-18 See calculation above Zones- Impervious Surfaces Zone WHITE CENTER HUB last updated 3/3/21

	CENTER HUB				last updated 3/3/21
ZON	ING CODE ANAL	.YSIS			T
21A	CHAPTER 34	DENSITY INCENTIVES "RDI"			
21A	34.020-030	Residential Density Incentives (RDI) General	Permitted in R-18 zones, with sewer service. 150% maximum of base density, or 200% maximum of base density if 100% of units are affordable units (but limited by Table 12.030 to 27 DU/Acre, which yields 76 Units Max .). Note per 21A.34.050 round fractional dwelling units to the next nearest number. RDI is confirmed via CUP process.	RDI calculation proposed to allow 76 Units .	
21A	34.040	Density Incentives and Public Benefit	Bonus du's may be earned through any combination of the listed benefits. See consolidated housing and community development plan, updated annually, for rental levels.		
21A	34.060	Review and Approval of RDI	RDI approval is part of CUP process if applicable. Note that number of units, parking, landscape, etc. is determined by CUP with minimal adjustments allowed to these items.		
21A	34.040 F	Benefits for Affordable Housing	Benefit 1.a, affordable housing= permanently priced to serve non-senior citizen low-income households. (rent at or below 30% gross income for households at or below 50% of King County median income, adjusted for household size). Needs to include a covenant. 1.5 bonus per benefit unit, maximum 30 per 5 acre site, sites less than 5 acres shall be limited to 30 bonus low income units.		
21A	34.040 F	Benefits for Energy Conservation	Benefit 4.a Save 20% of electric space heating vs. NW Energy Code (50% max via heat pump, min 15% window to floor area) yields .15 bonus per unit (ADD 8 units). (10% for GAS version= ADD 5 units)	N/A - bonus taken with RDI above	
21A	34.040 F	Benefits for Transit	Benefit 4.c Within 1/2 mile of transit served on at least 1/2 hour basis peak times, and hourly during daytime nonpeak hours. 10% above base density. (ADD 5 UNITS)	N/A - bonus taken with RDI above	
21A	34.080	RDI PARKING	D.1 For 100% affordable housing to provide 1 off street space per unit. The director may require additional parking.	Refer to Heffron Transportation Technical Memorandum for Parking Quantity Analysis	Adjusted parking requirements proposed per 21A.030.B.
21A	34.080	Development Standards	A. RDI developments shall conform to zone with closest density to the approved RDI density. This means that if we are at RDI 76 units, on 2.81 acres, then density is 27, so assume R-24	R-24 development standards used instead of R-18	
21A	34.080	Recreation Space	E. RDI developments - recreation space at 50% of required.		
		CRITICAL AREAS/STORMWATER			
21A	24.325	Wetland Buffers	No critical areas on site, but there is a wetland and an unclassified stream located on Park property to the west of the site, with buffers and setbacks that extend onto project site. 80' buffer required with 15' building setback.	80' wetland buffer with 15' setback at west edge of site, proposed to be averaged . Area of buffer after averaging is greater than area of buffer before.	Wetland buffer averaging propposed: Refer to critical areas report by PBS, included with the CUP submittal.
		FIRE APPARATUS			
	17.04.370-420	Fire Apparatus Access Roads	Adopts IFC 503. (Washington State IFC 503 says "in accordance with locally adopted standards"). National code says 150' to all parts of building from fire access road, which can be extended if fire sprinklers (discretionary). KCC: 25 ton road capacity, 20' interior radius, 40' ext radius (or approved). Dead ends in excess of 150' to have turn around (40' dia or hammerhead). Max 15% grade.	Refer to site plan for fire apparatus access roads.	

PAGE 4

SUNDBERG
KENNEDY
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ARCHITECTS

1501 E MADISON, SUITE 205 SEATTLE WA 98122-4465 206.322.1130





 White Center Community HUB

 10821 8th AVE SW SEATTLE, WA 98146

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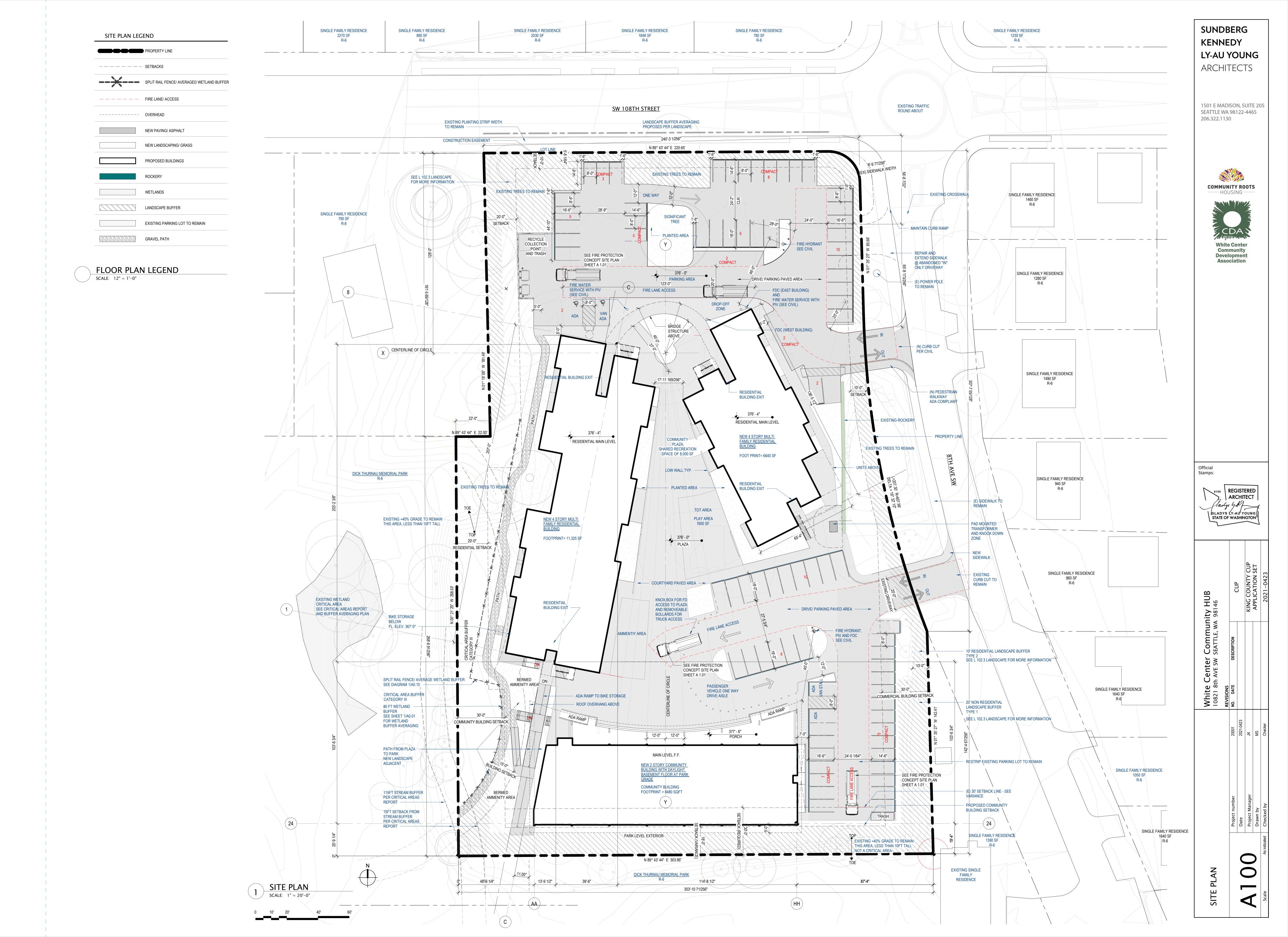
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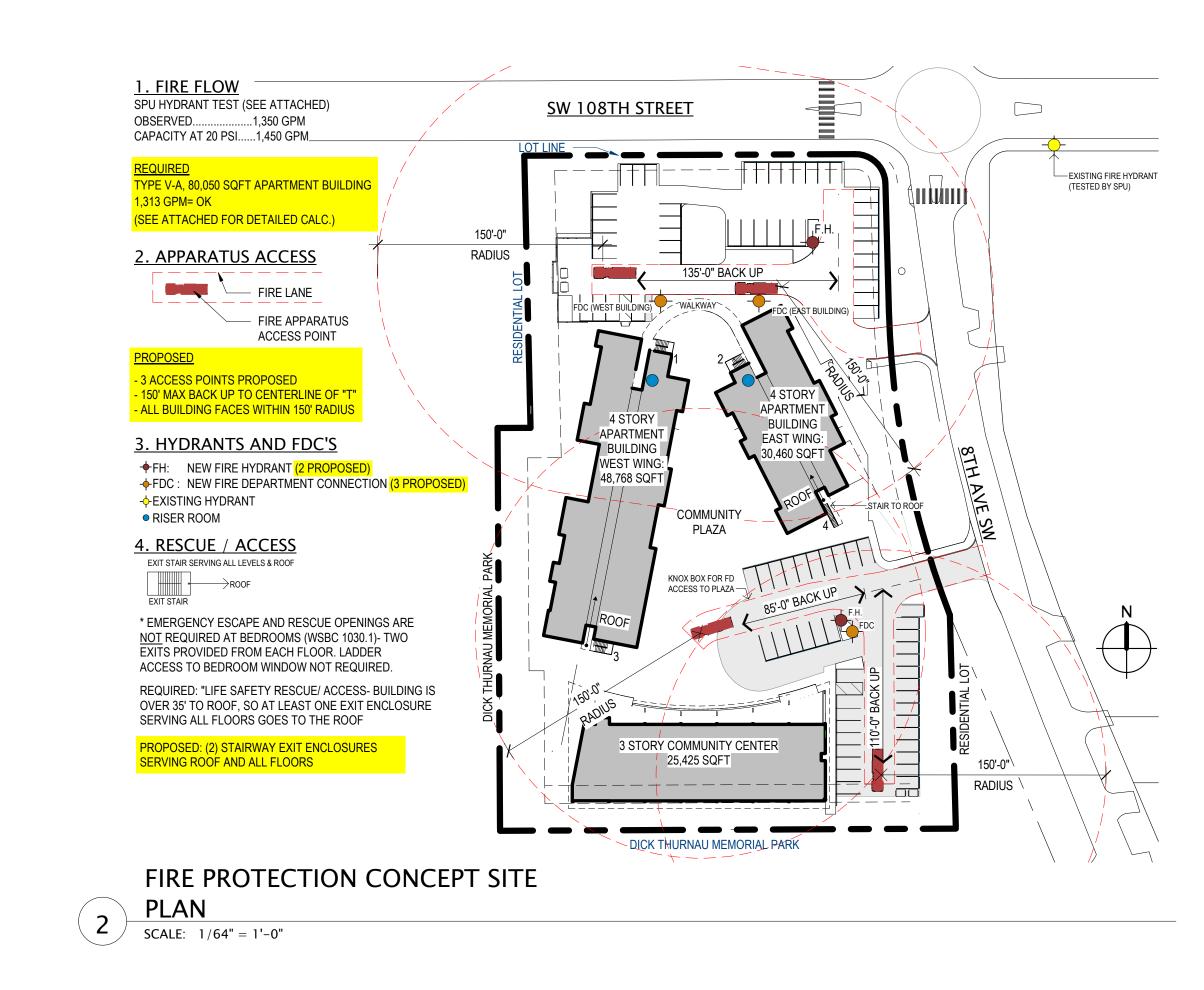
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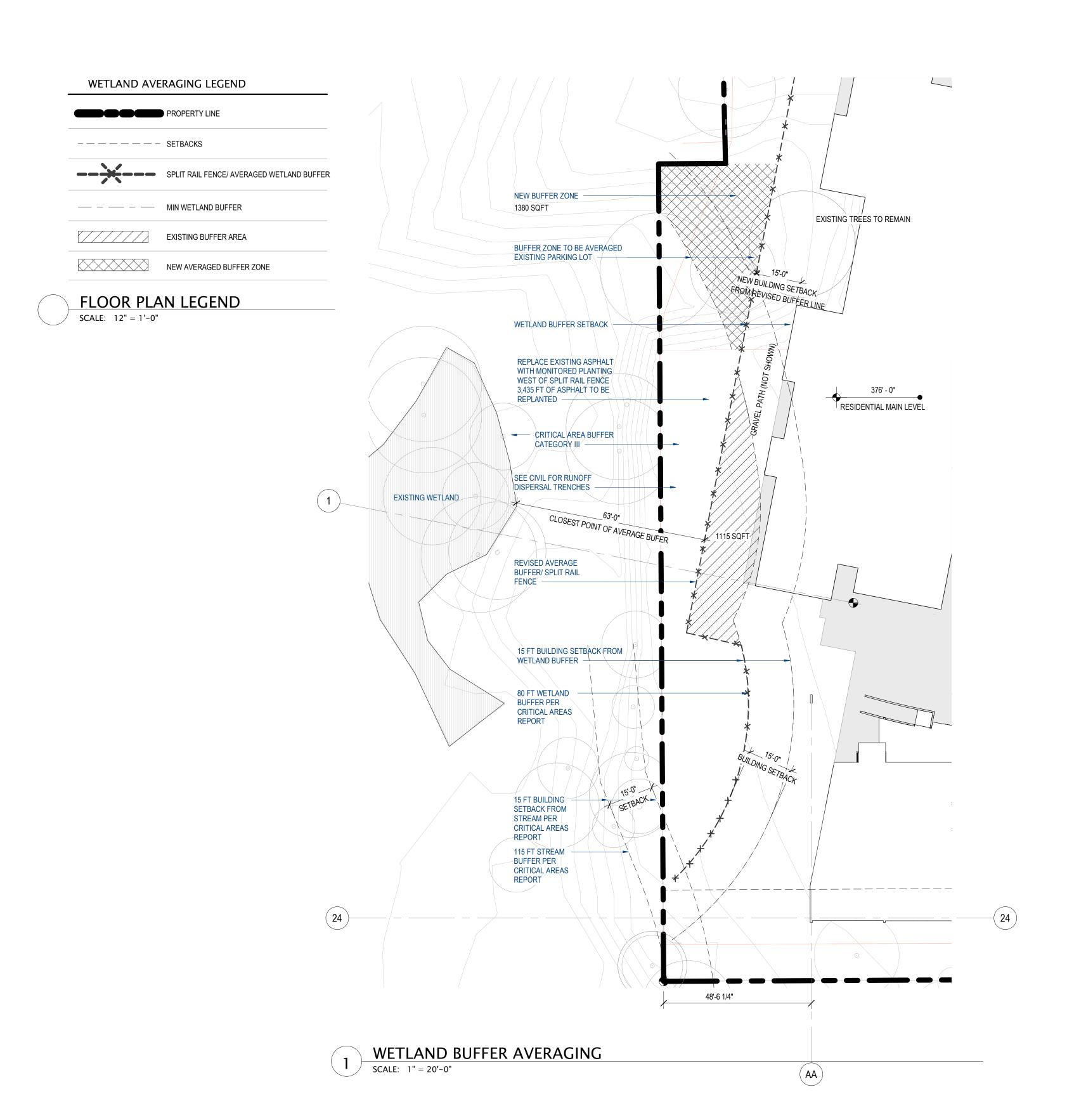
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1501 E MADISON, SUITE 205 SEATTLE WA 98122-4465 206.322.1130





Official Stamps:

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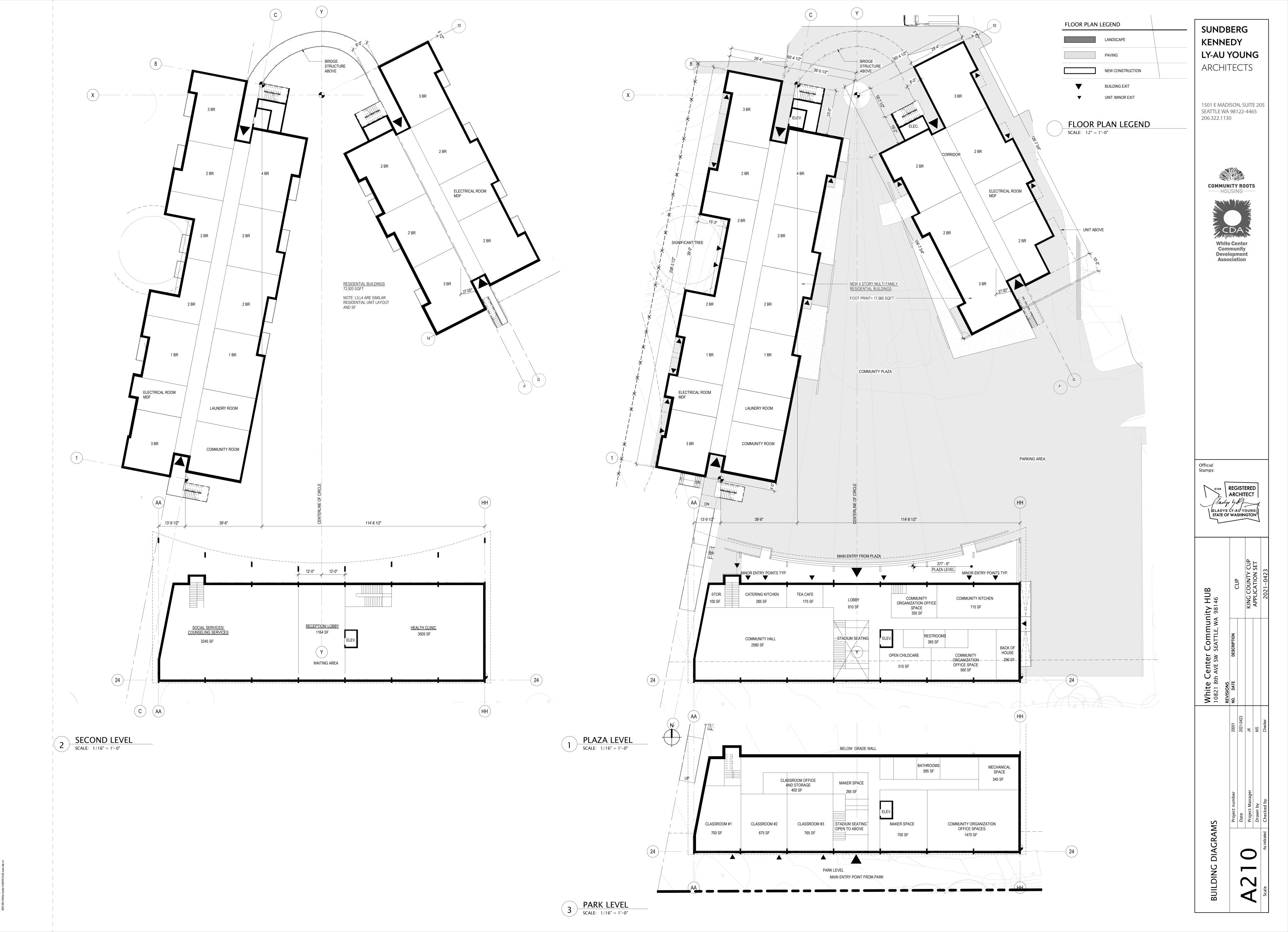
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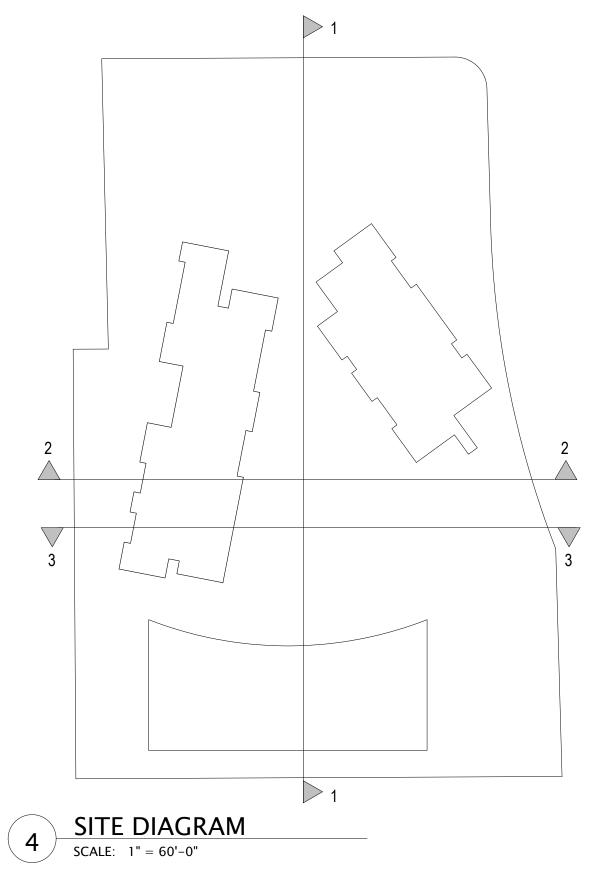
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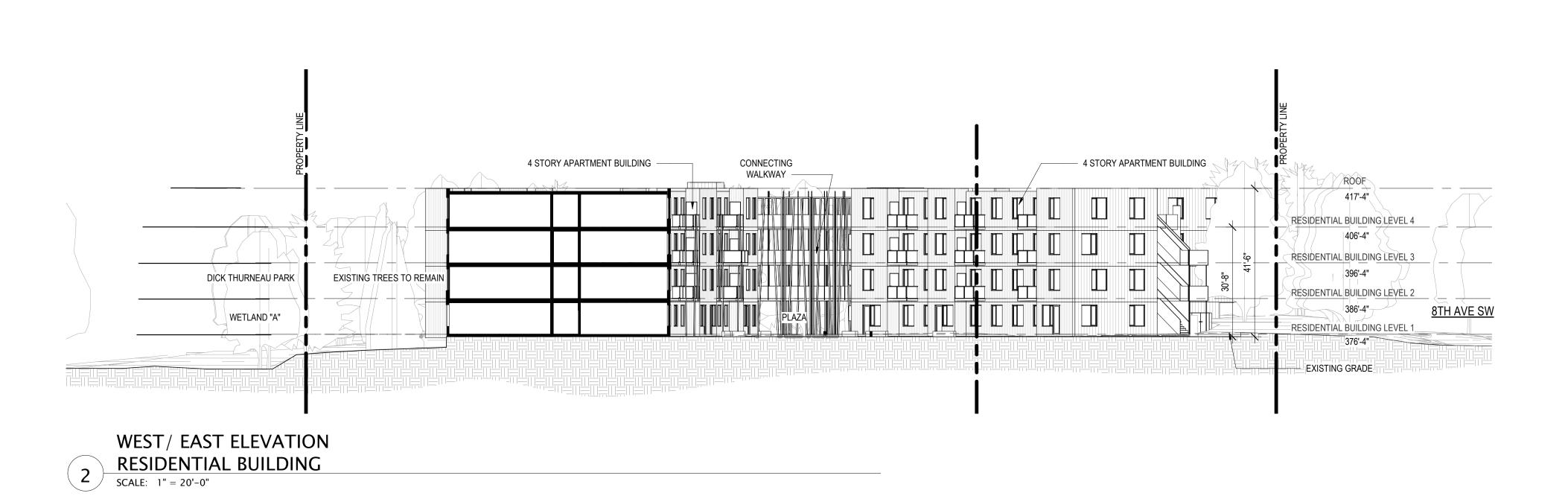
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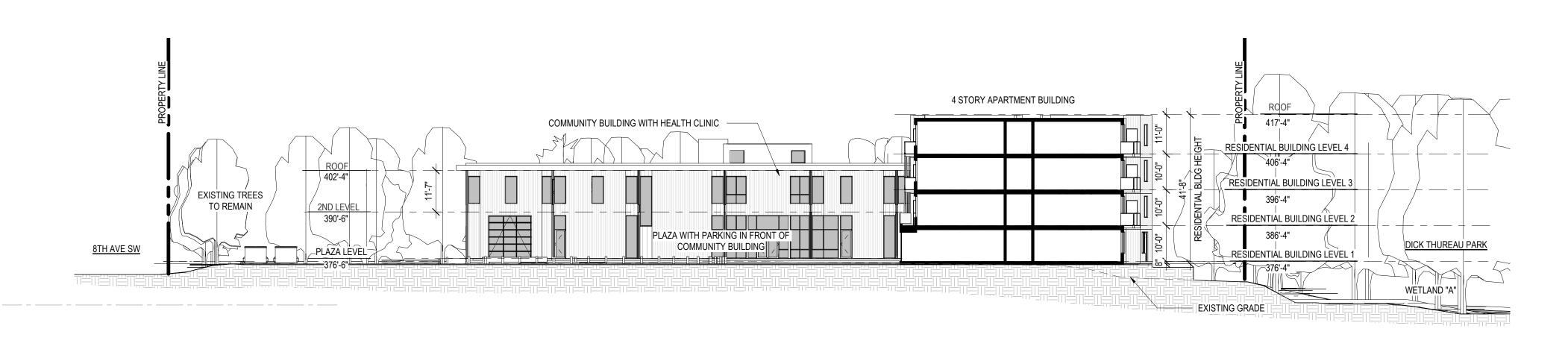




NORTH/ SOUTH SECTION SCALE: 1/16" = 1'-0"







3 EAST WEST SECTION

SCALE: 1" = 20'-0"

SUNDBERG KENNEDY LY-AU YOUNG ARCHITECTS

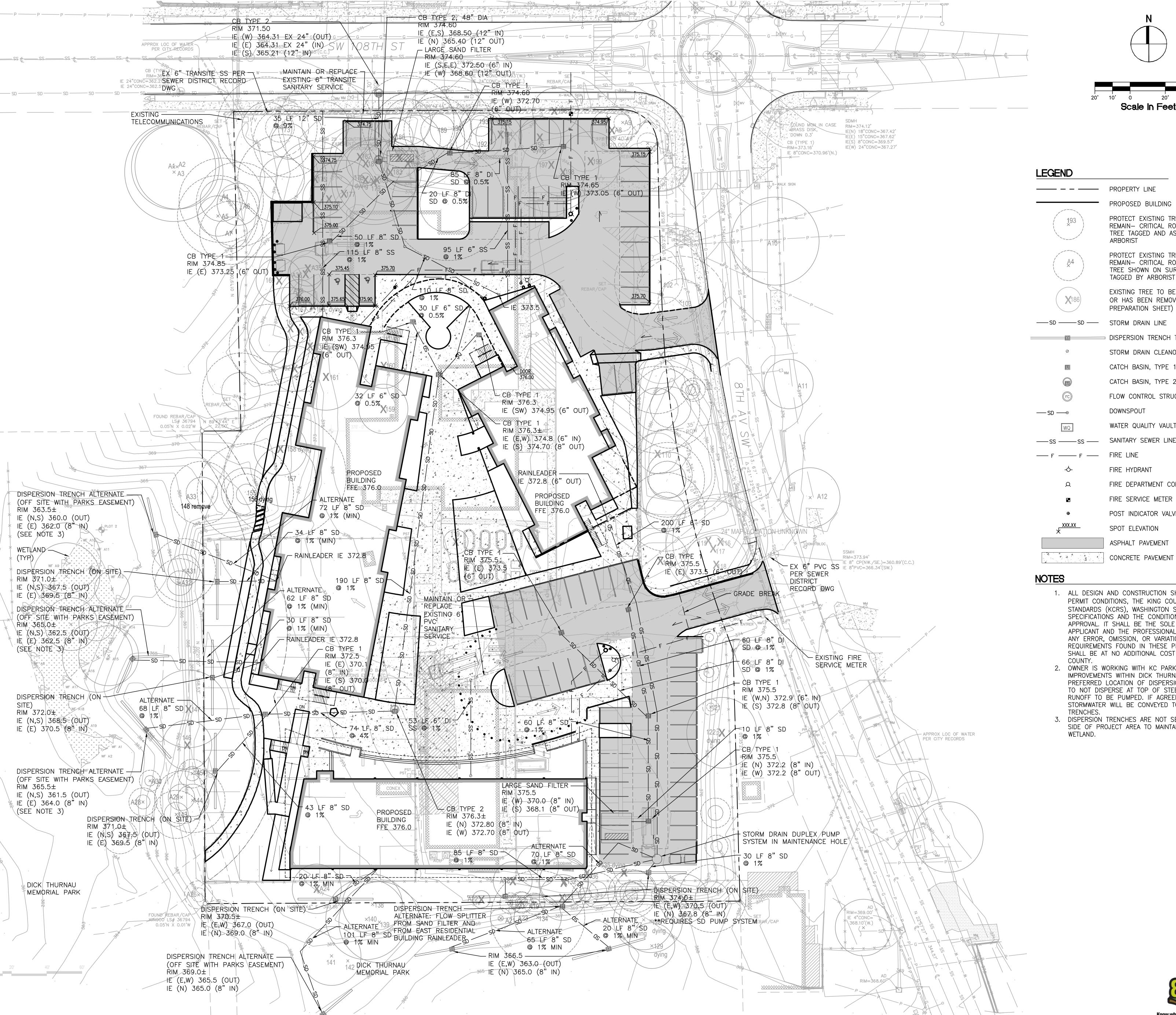
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Official Stamps: GLADYS LY-AU YOUNG STATE OF WASHINGTON

White Center Community HUB
10821 8th AVE SW SEATTLE, WA 98146
REVISIONS
NO. DATE DESCRIPTION CUP







—— — PROPERTY LINE PROPOSED BUILDING PROTECT EXISTING TREE TO REMAIN- CRITICAL ROOT ZONE TREE TAGGED AND ASSESSED BY ARBORIST PROTECT EXISTING TREE TO REMAIN- CRITICAL ROOT ZONE TREE SHOWN ON SURVEY- NOT TAGGED BY ARBORIST EXISTING TREE TO BE REMOVED OR HAS BEEN REMOVED (SEE SITE PREPARATION SHEET) ——SD —— STORM DRAIN LINE DISPERSION TRENCH TYP 50 LF STORM DRAIN CLEANOUT CATCH BASIN, TYPE 1 CATCH BASIN, TYPE 2 FLOW CONTROL STRUCTURE DOWNSPOUT WATER QUALITY VAULT ——SS ——SS —— SANITARY SEWER LINE — F — F — FIRE LINE FIRE HYDRANT FIRE DEPARTMENT CONNECTION FIRE SERVICE METER POST INDICATOR VALVE SPOT ELEVATION ASPHALT PAVEMENT

- 1. ALL DESIGN AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH PERMIT CONDITIONS, THE KING COUNTY CODE (KCC), ROAD STANDARDS (KCRS), WASHINGTON STATE DOT (WSDOT) STANDARD SPECIFICATIONS AND THE CONDITIONS OF PRELIMINARY APPROVAL. IT SHALL BE THE SOLE RESPONSIBILITY OF THE APPLICANT AND THE PROFESSIONAL CIVIL ENGINEER TO CORRECT ANY ERROR, OMISSION, OR VARIATION FROM THE ABOVE REQUIREMENTS FOUND IN THESE PLANS. ALL CORRECTIONS SHALL BE AT NO ADDITIONAL COST OR LIABILITY TO KING
- 2. OWNER IS WORKING WITH KC PARKS TO COORDINATE OFF-SITE IMPROVEMENTS WITHIN DICK THURNAU MEMORIAL PARK. PREFERRED LOCATION OF DISPERSION TRENCHES IS WITHIN PARK TO NOT DISPERSE AT TOP OF STEEP SLOPE OR REQUIRE STORM RUNOFF TO BE PUMPED. IF AGREEMENT IS NOT REACHED, THEN STORMWATER WILL BE CONVEYED TO ON-SITE DISPERSION TRENCHES.
- 3. DISPERSION TRENCHES ARE NOT SET 50 LF APART ON WEST SIDE OF PROJECT AREA TO MAINTAIN EXISTING FLOW TO WETLAND.

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SUNDBERG KENNEDY LY-AU YOUNG

ARCHITECTS

1501 E MADISON, SUITE 205 SEATTLE WA 98122-4465

206.322.1130



White Center Community Development Association

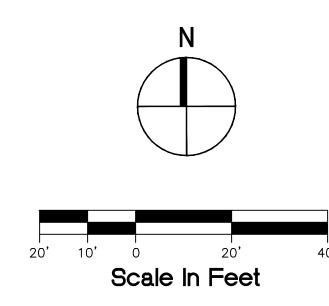
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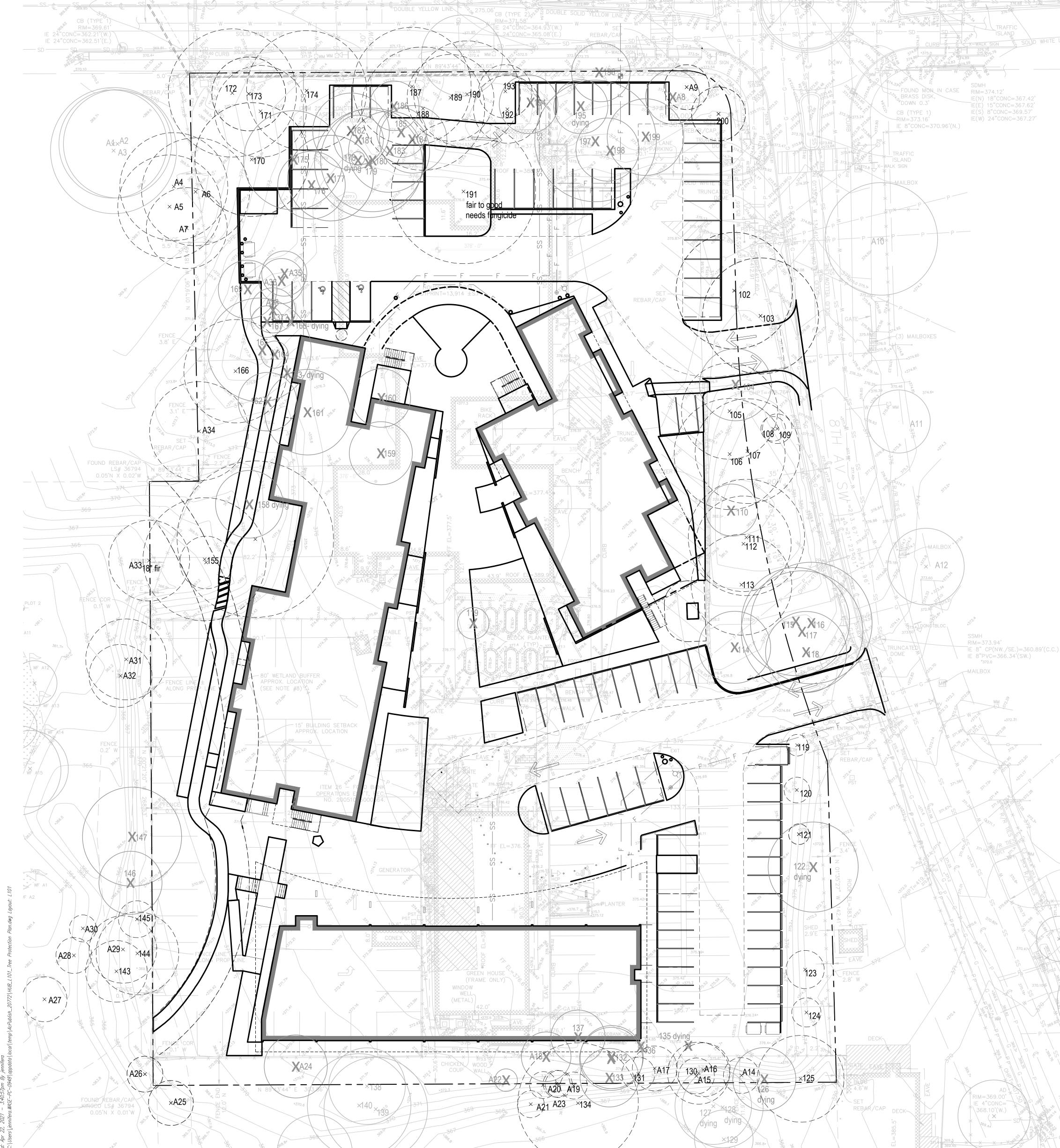
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APPROX. LOCATION
(SEE NOTE #8)

SIGNIFICANT TREE RETENTION TABLE (PER KC 16.82.146)

LOCATION	QTY	RETAINMENT REQUIREMENTS	REPLACEMENT REQUIREMENTS	REPLACEMENT OTY
SIGNIFICANT STREET PERIMETER TREES		75% OF TOTAL QTY OF TREES	NONE	NONE
STREET PERIMETER TREES TOTAL	14			
STREET PERIMETER TREES REMOVED	1			
STREET PERIMETER TREES PRESERVED	13			
SIGNIFICANT INTERIOR PERIMETER TREES		100% OF TOTAL QTY OF TREE	NONE	NONE
INTERIOR PERIMETER TREES TOTAL	4			
INTERIOR PERIMETER TREES REMOVED	0			
INTERIOR PERIMETER TREES PRESERVED	4			
SIGNIFICANT INTERIOR TREES		TEN TREES PER ACRE (2.81) OR 5% OF TREES WHICH EVER IS GREATER	28 TREES MINUS TREES PRESERVED + CREDIT IF APPLICABLE	ADDITIONAL TREES REQUIRED X 12"= REQUIRED ADDITIONAL TOTAL DIAMETER IN INCHES REPLACEMENT TREES
INTERIOR TREES TOTAL	32			
INTERIOR TREES REMOVED	25			
INTERIOR TREES PRESERVED	7			
CREDIT FOR PRESERVED TREES 18" DBH OR OVER (1 EXTRA TREE)	7			
TOTAL TREE RETENTION CREDIT	14			
TOTAL TREE REPLACEMENT		28 TREES	14X12 INCHES = 168 INCHES	168 INCHES / 2 INCHE TREE = 84 TREES

LEGEND

APPROX LOC OF WATER

EXISTING TREE TO REMAIN- CRITICAL ROOT ZONE TREE TAGGED AND ASSESSED BY ARBORIST

EXISTING TREE TO REMAIN — CRITICAL ROOT ZONE TREE SHOWN ON SURVEY— NOT TAGGED BY ARBORIST

EXISTING TREE TO BE REMOVED OR HAS BEEN REMOVED

- SEE EXISTING TREE SCHEDULES ON SHEETS L101.1— L101.4
 TREES RATED A RISK BY ARBORIST HAVE BEEN REMOVED AND DO NOT COUNT AS SIGNIFICANT TREES. SEE EXISTING TREE
 SCHEDULES FOR TREES RISK RATING.

 3. TREE CRITICAL ROOT ZONES ARE BASED UPON TREE DIAMETER.
 FUTURE ASSESSMENT AND PRESERVATION GUIDELINE WILL BE
 - PROVIDED BY ARBORIST.
- 4. TREE DESIGNATED WITH A# ARE BASED UPON SURVEY INFORMATION AND HAVE NOT BEEN ASSESSED BY ARBORIST.



SUNDBERG KENNEDY LY-AU YOUNG **ARCHITECTS**

1501 E MADISON, SUITE 205 SEATTLE WA 98122-4465

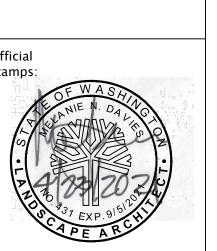
206.322.1130







615 SECOND AVE. SUITE 280 SEATTLE, WA 98104



TREE

TREE	SPECIES	SPECIES (BOTANICAL)	DBH (MULTI-TRUNK CALC)	SK 3NIII	DRIP LINE RADIUS (FT)	CRITICAL ROOT ZONE (FT)	VIGOR	STRUC- TURE	RISK RATING	PRESER- VATION VALUE	PRESERVE /REMOVE	LOCATION NOTES
101	DOUGLAS FIR	PSEUDOTSUGA MENZIESII	5.1, 4.2 (6.61)		6.5	6.6068146 6366357	FAIR TO GOOD	FAIR	LOW	MEDIUM		?
102	PACIFIC MADRONE	ARBUTUS MENZIESII	25.9, (25.9)	X	24.5	25.9	FAIR	FAIR	MEDIUM	MEDIUM	PRESERVE?	ROW
103	WESTERN RED CEDAR	THUJA PLICATA	25.8, (25.8)	X	16	25.8	FAIR	FAIR	MEDIUM	MEDIUM	REMOVE	ROW
104	PACIFIC MADRONE	ARBUTUS MENZIESII	23.4, (23.4)		16	23.4	POOR	POOR TO FAIR	HIGH	RISK	HAS BEEN REMOVED	
105	DOUGLAS FIR	PSEUDOTSUGA MENZIESII	21.4, (21.4)	X	14	21.4	FAIR	FAIR TO GOOD	MEDIUM	MEDIUM	PRESERVE	STREET PERIMETER
106	DOUGLAS FIR	PSEUDOTSUGA MENZIESII	24.7, (24.7)	X	15.5	24.7	FAIR	FAIR TO GOOD	MEDIUM	MEDIUM	PRESERVE	ROW
107	DOUGLAS FIR	PSEUDOTSUGA MENZIESII	23.3, (23.3)	X	14	23.3	FAIR	FAIR TO GOOD	MEDIUM	MEDIUM	PRESERVE	STREET PERIMETER
108	DOUGLAS FIR	PSEUDOTSUGA MENZIESII	5.5, (5.5)	X	11.3	5.5	FAIR TO GOOD	FAIR TO GOOD	LOW	MEDIUM	PRESERVE	ROW
109	DOUGLAS FIR	PSEUDOTSUGA MENZIESII	6.6, (6.6)	X	10.7	6.6	FAIR TO GOOD	FAIR TO GOOD	LOW	LOW	PRESERVE	ROW
110	PACIFIC MADRONE	ARBUTUS MENZIESII	12.1, 11.4 (16.62)	X	13	16.624379 6876756	POOR TO FAIR	FAIR	MEDIUM	RISK	HAS BEEN REMOVED	
111	PACIFIC MADRONE	ARBUTUS MENZIESII	17.5, 13.7, 13.2 (25.85)	X		25.849177 9366385	FAIR	FAIR	LOW	MEDIUM	PRESERVE	STREET PERIMETER
112	PACIFIC MADRONE	ARBUTUS MENZIESII	15.9, 14.1 (21.25)	X	13.5	21.251352 8981098	FAIR	FAIR	MEDIUM	MEDIUM	PRESERVE	STREET PERIMETER
113	DOUGLAS FIR	PSEUDOTSUGA MENZIESII	22.4, (22.4)	X	17	22.4	FAIR	FAIR	MEDIUM	MEDIUM	PRESERVE	INTERIOR
114	DOUGLAS FIR	PSEUDOTSUGA MENZIESII	20.8, (20.8)	X	16	20.8		FAIR	MEDIUM	MEDIUM	REMOVE	INTERIOR
115	PACIFIC MADRONE	ARBUTUS MENZIESII	29.5, (29.5)		24	29.5	POOR	POOR	HIGH	RISK	HAS BEEN REMOVED	
116	PACIFIC MADRONE	ARBUTUS MENZIESII	32.7, (32.7)		27	32.7	POOR	POOR	HIGH	RISK	HAS BEEN REMOVED	
117	PACIFIC MADRONE	ARBUTUS MENZIESII	12.8, (12.8)		27	12.8	DYING/ DEAD	POOR	HIGH	RISK	HAS BEEN REMOVED	
118	PACIFIC MADRONE	ARBUTUS MENZIESII	10, (10)		18	10	DYING/ DEAD	POOR	HIGH	RISK	HAS BEEN REMOVED	
119	GREEN ASH	FRAXINUS PENNSYLVANIC A	4.8, (4.8)		9	4.8	FAIR TO GOOD	FAIR	LOW	MEDIUM	PRESERVE	PERIMETER
120	GREEN ASH	FRAXINUS PENNSYLVANIC A	5.7, (5.7)		10	5.7	FAIR TO GOOD	FAIR	LOW	MEDIUM	PRESERVE	PERIMETER
121	GREEN ASH	FRAXINUS PENNSYLVANIC A	4.6, (4.6)		7	4.6	FAIR TO GOOD	FAIR	LOW	MEDIUM	PRESERVE	PERIMETER
122	PACIFIC MADRONE	ARBUTUS MENZIESII	14.8, (14.8)		20	14.8	DYING/ DEAD	POOR	HIGH	RISK	REMOVE	PERIMETER
123	GREEN ASH	FRAXINUS PENNSYLVANIC A	8.5, (8.5)	X	12	8.5	FAIR TO GOOD	FAIR TO GOOD	LOW	MEDIUM	PRESERVE	PERIMETER
124	GREEN ASH	FRAXINUS PENNSYLVANIC A	6.5, (6.5)		11	6.5	FAIR TO GOOD	FAIR TO GOOD	LOW	LOW	PRESERVE	PERIMETER
125	BLACK LOCUST	ROBINIA PSEUDOACACI	19.3, (19.3)	X	13	19.3	FAIR	FAIR	LOW	LOW	PRESERVE	PERIMETER
126	PACIFIC MADRONE	ARBUTUS MENZIESII	17.8, 9 (19.95)		14	19.945926 9025032	DYING/ DEAD	POOR TO FAIR	HIGH	RISK	REMOVE	PARK
127	PACIFIC MADRONE	ARBUTUS MENZIESII	15.3, (15.3)		18	15.3	DYING/ DEAD	POOR TO FAIR	HIGH	NONE	PRESERVE	PARK
128	PACIFIC MADRONE	ARBUTUS MENZIESII	14, (14)		17	14	DYING/ DEAD	POOR TO FAIR	HIGH	NONE	PRESERVE	PARK
129	PACIFIC MADRONE	ARBUTUS MENZIESII	14, (14)		13	14	DYING/ DEAD	FAIR TO GOOD	HIGH	LOW	PRESERVE	PARK
130	BLACK LOCUST	ROBINIA PSEUDOACACI A	13.8, (13.8)	X	14	13.8	FAIR	FAIR	LOW	MEDIUM	PRESERVE	PERIMETER
131	BLACK LOCUST	ROBINIA PSEUDOACACI A	7.4, (7.4)		11	7.4	FAIR	FAIR	LOW	LOW	REMOVE	PERIMETER
132	EUROPEAN MOUNTAIN ASH	SORBUS AUCUPARIA	5.5, 4.7, 6.8 (9.93)		14	9.9287461 4440313	FAIR TO GOOD	POOR TO FAIR	MEDIUM	LOW	REMOVE	INTERIOR
133	BLACK LOCUST	ROBINIA PSEUDOACACI A	12.3, (12.3)	X	13	12.3	FAIR	FAIR	LOW	MEDIUM	REMOVE	PERIMETER
134	DOUGLAS FIR	PSEUDOTSUGA MENZIESII	26.8, (26.8)	X	21	26.8	FAIR TO GOOD	FAIR	MEDIUM	MEDIUM	PRESERVE	PARK
135	SCOULER'S WILLOW	SALIX SCOULERIANA	12.1, (12.1)		16	12.1	FAIR	POOR	HIGH	RISK	REMOVE	INTERIOR
137	GREEN ASH	FRAXINUS PENNSYLVANIC A	5.9		12	5.9	FAIR TO GOOD	FAIR	LOW	LOW	REMOVE	INTERIOR
138	EUROPEAN BIRD CHERRY	PRUNUS PADUS	8.7, (8.7)		17	8.7	FAIR	FAIR	LOW	LOW	PRESERVE	PARK

^{*} KING COUNTY SIGNIFICANT TREES: PER TITLE 21A.06.1167 "AN EXISTING HEALTHY TREE THAT IS NOT A HAZARD" WITH A MINIUMUM DIAMETER OF EIGHT (8) INCHES FOR EVERGREENS AND TWELVE (12) INCHES FOR DECIDUOUS TREES
** EXISTING TREE ASSESSMENT BY URBAN FORESTRY SERVICES, INC, DATED MAY 11, 2018

EXISTING TREE SCHEDULE (PER ARBORIST REPORT**)

TREE	SPECIES	SPECIES (BOTANICAL)	DBH (MULTI-TRUNK CALC)	SIGNIF- ICANT*	DRIP LINE RADIUS (FT)	CRITICAL ROOT ZONE (FT)	VIGOR	STRUC- TURE	RISK RATING	PRESER- VATION VALUE	PRESERVE /REMOVE	LOCATION NOTES
139	RED ALDER	ALNUS RUBRA	16.6, 7.5 (18.22)		23	18.215652 6097749	FAIR	FAIR	MEDIUM	MEDIUM	PRESERVE	PARK
140	RED ALDER	ALNUS RUBRA	17.3, (17.3)		23	17.3	POOR TO FAIR	POOR TO FAIR	MEDIUM	NONE	PRESERVE	PARK
141	SCOULER'S WILLOW	SALIX SCOULERIANA	16.7, (16.7)	X	14	16.7	FAIR	POOR	HIGH	NONE	REMOVE	THIS TREE LOOKS LIKE IT IS WHERE A24 IS SHOWN ON PLAN. #141 IS SHOWN ON SURVEY NEXT TO #142
#142											TBD	PARK
143	PACIFIC MADRONE	ARBUTUS MENZIESII	13.7, (13.7)		13	13.7	FAIR	FAIR TO GOOD	LOW	LOW	PRESERVE	PARK
144	RED ALDER	ALNUS RUBRA	18 4		21	18.4	FAIR	FAIR	MEDIUM	MEDIUM	PRESERVE	PARK
145		PRUNUS EMARGINATA	8.2, (8.2)		10	8.2	FAIR	POOR TO FAIR	MEDIUM	LOW	PRESERVE	PARK
146	RED ALDER	ALNUS RUBRA	12.3, (12.3)		14	12.3	POOR TO FAIR	POOR	HIGH	NONE	PRESERVE	PARK
147	RED ALDER	ALNUS RUBRA	18.9, 11.3 (22.02)			22.020445 0454572	POOR TO FAIR	POOR TO FAIR	HIGH	NONE	PRESERVE	PARK
148	DOUGLAS FIR	PSEUDOTSUGA MENZIESII	18, (18)		17	18	FAIR	POOR	HIGH	LOW	PRESERVE	PARK
149	PACIFIC MADRONE	ARBUTUS MENZIESII	19, (19)	X	25	19	FAIR	FAIR TO GOOD	LOW	MEDIUM	PRESERVE	PARK
150	PACIFIC MADRONE	ARBUTUS MENZIESII	23, (23)	X	15	23	FAIR	FAIR TO GOOD	LOW	LOW	PRESERVE	PARK
151	PACIFIC MADRONE	ARBUTUS MENZIESII	14, 9 (16.64)	X	19	16.643316 9770932	FAIR	FAIR	LOW	MEDIUM	PRESERVE	PARK
152	WESTERN RED CEDAR	THUJA PLICATA	18.3, (18.3)	X	13	18.3	FAIR	FAIR TO GOOD	LOW	MEDIUM	PRESERVE	PARK
153	WESTERN RED CEDAR	THUJA PLICATA	24.7, (24.7)	X	18	24.7	FAIR	FAIR TO GOOD	LOW	MEDIUM	PRESERVE	PARK
155	WESTERN RED CEDAR	THUJA PLICATA	27.4, (27.4)	X	17	27.4	FAIR TO GOOD	FAIR	MEDIUM	MEDIUM	PRESERVE	INTERIOR
156	PACIFIC MADRONE	ARBUTUS MENZIESII	11.7, (11.7)		15	11.7	DYING/ DEAD	POOR	HIGH	RISK	REMOVE	INTERIOR
157	DOUGLAS FIR	PSEUDOTSUGA MENZIESII	34.8, (34.8)	X	23	34.8	FAIR TO GOOD	FAIR	MEDIUM	MEDIUM	PRESERVE	INTERIOR
158	PACIFIC MADRONE	ARBUTUS MENZIESII	21, (21)		15	21	DYING/ DEAD	POOR	HIGH	RISK	REMOVE	INTERIOR
159	DOGWOOD	CORNUS SPECIES	10.7, 14.2 (17.78)	X	14	17.780044 9943188		FAIR	LOW	MEDIUM	REMOVE	INTERIOR
160	ASH	FRAXINUS SPECIES	13.8, 10.4 (17.28)	X	13	17.280046 2962343	FAIR TO GOOD	FAIR	LOW	MEDIUM	REMOVE	INTERIOR
161	DOUGLAS FIR	PSEUDOTSUGA MENZIESII	31.5, (31.5)	X	19	31.5	FAIR	FAIR	MEDIUM	MEDIUM	REMOVE	INTERIOR
162	WESTERN RED CEDAR	THUJA PLICATA	22.3, (22.3)	X	13	22.3	FAIR	FAIR	LOW	MEDIUM	REMOVE	INTERIOR
163	PACIFIC MADRONE	ARBUTUS MENZIESII	19.2, 15.8, 9.8 (26.73)			26.726765 6105261	DYING/ DEAD	POOR TO FAIR	MEDIUM	RISK	REMOVE	INTERIOR
164	BITTER CHERRY	PRUNUS EMARGINATA	6.7, (6.7)		6	6.7	DYING/ DEAD	POOR TO FAIR	MEDIUM	RISK	REMOVE	INTERIOR
165	PACIFIC MADRONE	ARBUTUS MENZIESII	9.1, 14.7 (17.29)		23	17.288724 6493199	DYING/ DEAD	POOR	HIGH	RISK	REMOVE	INTERIOR
166	PACIFIC MADRONE	ARBUTUS MENZIESII	17.4, 11.7 (20.97)	X	18	20.967832 5060079	FAIR	FAIR	LOW	MEDIUM	PRESERVE	INTERIOR
167	DOUGLAS FIR	PSEUDOTSUGA MENZIESII	12.3, (12.3)	X	7	12.3	FAIR	POOR TO FAIR	LOW	MEDIUM	REMOVE	INTERIOR
168	PACIFIC MADRONE	ARBUTUS MENZIESII	16.8, (16.8)			16.8	DYING/ DEAD	POOR TO FAIR	MEDIUM	RISK	REMOVE	INTERIOR
169	PACIFIC MADRONE	ARBUTUS MENZIESII	21.7, (21.7)	X	13	21.7	FAIR	FAIR	LOW	MEDIUM	REMOVE	INTERIOR
170	DOUGLAS FIR	PSEUDOTSUGA MENZIESII	25.3, (25.3)	X	13	25.3	FAIR TO GOOD	FAIR	MEDIUM	MEDIUM	PRESERVE	INTERIOR

NOTE:

1. SEE TREE PROTECTION PLAN, SHEET L101

SUNDBERG KENNEDY LY-AU YOUNG **ARCHITECTS**

1501 E MADISON, SUITE 205 SEATTLE WA 98122-4465

206.322.1130









TOSCAP	XP.	RC			1.
nity HUB 98146	allo				2021-04-23
White Center Community HUB 10821 8th AVE SW SEATTLE, WA 98146 REVISIONS	DESCRIPTION				
White Con 10821 8th A	NO. DATE				
	20001	2021-04-09	MD	JA, AT, MW	BM
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TREE	SPECIES	SPECIES (BOTANICAL)	DBH (MULTI-TRUNK CALC)	SIGNIF- ICANT*		CRITICAL ROOT ZONE (FT)	VIGOR	STRUC- TURE	RISK RATING	PRESER- VATION VALUE	PRESERVE /REMOVE	LOCATION	NOTES
		PSEUDOTSUGA	20.4,				FAIR TO	FAIR TO					
171	DOUGLAS FIR	MENZIESII	(20.4)	X	16	20.4	GOOD	GOOD	MEDIUM	MEDIUM	PRESERVE	INTERIOR	
172	DOUGLAS FIR	PSEUDOTSUGA MENZIESII	28.5, (28.5)	X	17	28.5	FAIR TO GOOD	FAIR	MEDIUM	MEDIUM	PRESERVE	STREET PERIMETER	
173	PACIFIC DOGWOOD	CORNUS NUTTALLII	13.1, 9.9 (16.42)	X	15	16.420109 6220458	POOR TO FAIR	POOR TO FAIR	MEDIUM	NONE	PRESERVE	STREET PERIMETER	
174	DOUGLAS FIR	PSEUDOTSUGA MENZIESII	26.7, (26.7)	X	14	26.7	FAIR	FAIR	MEDIUM	MEDIUM	PRESERVE	STREET PERIMETER	
175	PACIFIC MADRONE	ARBUTUS MENZIESII	16.7, 15.6 (22.85)	X	22	22.852789 7640529	FAIR	FAIR TO GOOD	LOW	MEDIUM	REMOVE	INTERIOR	
176	PACIFIC MADRONE	ARBUTUS MENZIESII	16.3, (16.3)	X	15	16.3	FAIR TO GOOD	FAIR TO GOOD	LOW	MEDIUM	REMOVE	INTERIOR	
177	PACIFIC MADRONE	ARBUTUS MENZIESII	20.3, (20.3)	X	19	20.3	POOR TO FAIR	POOR TO FAIR	HIGH	NONE	REMOVE	INTERIOR	
178	PACIFIC MADRONE	ARBUTUS MENZIESII	7.4, (7.4)		3	7.4	DYING/ DEAD	POOR	HIGH	NONE	REMOVE	INTERIOR	
179	PACIFIC MADRONE	ARBUTUS MENZIESII	16.3, (16.3)	X	24	16.3	FAIR TO GOOD	FAIR TO GOOD	LOW	MEDIUM	REMOVE	INTERIOR	
180	PACIFIC MADRONE	ARBUTUS MENZIESII	10.6, (10.6)	X	23	10.6	FAIR	FAIR	MEDIUM	LOW	REMOVE	INTERIOR	
181	DOUGLAS FIR	PSEUDOTSUGA MENZIESII	13.2, (13.2)	X	11	13.2	FAIR	FAIR	MEDIUM	MEDIUM	REMOVE	INTERIOR	
182	PACIFIC MADRONE	ARBUTUS MENZIESII	12.6, (12.6)	X	17	12.6	FAIR	POOR TO FAIR	HIGH	NONE	REMOVE	INTERIOR	
183	PACIFIC MADRONE	ARBUTUS MENZIESII	12.3, (12.3)	X	18	12.3	FAIR	FAIR TO GOOD	LOW	MEDIUM	REMOVE	INTERIOR	
184	DOUGLAS FIR	PSEUDOTSUGA MENZIESII	16.9, (16.9)	X	15	16.9	FAIR TO GOOD	FAIR	MEDIUM	MEDIUM	REMOVE	INTERIOR	
185	DOUGLAS FIR	PSEUDOTSUGA MENZIESII	7.6, (7.6)		11	7.6	FAIR	POOR TO FAIR	LOW	LOW	REMOVE	INTERIOR	
186	DOUGLAS FIR	PSEUDOTSUGA MENZIESII	9.8, (9.8)	X	11	9.8	FAIR	POOR TO FAIR	LOW	LOW	REMOVE	INTERIOR	
187	DOUGLAS FIR	PSEUDOTSUGA MENZIESII	26.3, (26.3)	X	17	26.3	FAIR TO GOOD	FAIR TO GOOD	MEDIUM	MEDIUM	PRESERVE	PERIMETER	
188	DOUGLAS FIR	PSEUDOTSUGA MENZIESII	27.4, (27.4)	X	18	27.4	FAIR	FAIR	MEDIUM	MEDIUM	REMOVE	INTERIOR	
189	DOUGLAS FIR	PSEUDOTSUGA MENZIESII	19.3, (19.3)	X	14	19.3	FAIR TO GOOD	FAIR	MEDIUM	MEDIUM	PRESERVE		
190	DOUGLAS FIR	PSEUDOTSUGA MENZIESII	23.7, (23.7)	X	21	23.7	FAIR TO GOOD	FAIR	MEDIUM	MEDIUM	PRESERVE	PERIMETER	
191	PACIFIC MADRONE	ARBUTUS MENZIESII	32.1, (32.1)	X	23	32.1	FAIR	FAIR TO GOOD	LOW	MEDIUM	PRESERVE	INTERIOR	
192	WESTERN RED CEDAR	THUJA PLICATA	15.1, (15.1)	X	15	15.1	FAIR	FAIR TO GOOD	LOW	MEDIUM	REMOVE	INTERIOR	
193	ORGEON ASH	FRAXINUS LATIFOLIA	11.9, (11.9)	X	16	11.9	FAIR TO GOOD	FAIR	LOW	LOW	REMOVE	PERIMETER	
194	WESTERN RED CEDAR	THUJA PLICATA	19.8, (19.8)	X	13	19.8	FAIR TO GOOD	FAIR TO GOOD	LOW	MEDIUM	REMOVE	INTERIOR	
195	DOUGLAS FIR	PSEUDOTSUGA MENZIESII	19.3, (19.3)	X	12	19.3	FAIR	POOR TO FAIR	HIGH	NONE	REMOVE	INTERIOR	
196	QUAKING ASPEN	POPULUS TREMULOIDES	12.4, (12.4)	X	13	12.4	FAIR	POOR TO FAIR	MEDIUM	LOW	REMOVE	PERIMETER	
197	PACIFIC MADRONE	ARBUTUS MENZIESII	27.4, (27.4)	X	27	27.4	FAIR	FAIR	LOW	MEDIUM	REMOVE	INTERIOR	
198	PACIFIC MADRONE	ARBUTUS MENZIESII	19.4, (19.4)	X	14	19.4	FAIR	FAIR	LOW	MEDIUM	REMOVE	INTERIOR	
199	DOUGLAS FIR	PSEUDOTSUGA MENZIESII	19.5, (19.5)	X	17	19.5	FAIR TO GOOD	FAIR	MEDIUM	MEDIUM	REMOVE	INTERIOR	
200	WESTERN WHITE PINE	PINUS MONTICOLA	10.2, 6.3 (11.99)	X		11.988744 7216129	FAIR	FAIR TO GOOD	LOW	MEDIUM	REMOVE	PERIMETER	
201	QUAKING ASPEN	POPULUS TREMULOIDES	10.2, (10.2)		11	10.2	FAIR TO	FAIR	LOW	MEDIUM	PRESERVE?	TBD	

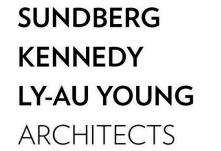
^{*} KING COUNTY SIGNIFICANT TREES: PER TITLE 21A.06.1167 "AN EXISTING HEALTHY TREE THAT IS NOT A HAZARD WITH A MINIUMUM DIAMETER OF FIGHT (8) INCHES FOR EVERGREENS AND TWELVE (12) INCHES FOR DECIDIOUS TREES

NOTE:

1. SEE TREE PROTECTION PLAN, SHEET L101

EXISTING TREE SCHEDULE (PER SURVEY)

TREE	SPECIES	SPECIES (BOTANICAL)	DBH PER SURVEY (MULTI-TRUNK CALC)	SIGNIF- ICANT	DRIP LINE RADIUS (FT)	CRITICAL ROOT ZONE (FT)	VIGOR	STRUCTURE	RISK RATING	PRESERVA TION VALUE	DEFECTS AND COMMENTS	RECOMME NDATIONS	PRESERVE /REMOVE	LOCATION	NOTES
\ 1	TBD	TBD	16										PRESERVE	ADJ PROPERTY	
\ 2	TBD	TBD	14										PRESERVE	ADJ PROPERTY	
\3	TBD	TBD	19										PRESERVE	ADJ PROPERTY	
4	TBD	TBD	24										PRESERVE	ADJ PROPERTY	
5	TBD	TBD	23										PRESERVE	ADJ PROPERTY	
.6	TBD	TBD	23										PRESERVE	PERIMETER	
7	TBD	TBD	18										PRESERVE	ADJ PROPERTY	
8	TBD	TBD	8										REMOVE	INTERIOR	
9	TBD	TBD	10	Х									PRESERVE	PERIMETER	
.13	TBD	TBD	5												
14	TBD	TBD	8										PRESERVE	PERIMETER	
.15	TBD	TBD	10										PRESERVE	PERIMETER	
16	TBD	TBD	8										PRESERVE	PERIMETER	
17	TBD	TBD											PRESERVE	PERIMETER	
18	TBD	TBD	10										REMOVE	PERIMETER	
19	TBD	TBD	8										PRESERVE	PARK	
20	TBD	TBD	6										PRESERVE	PARK	
21	TBD	TBD	6										PRESERVE	PARK	
22	TBD	TBD	6										REMOVE	PERIMETER	
23	TBD	TBD	6										PRESERVE	PARK	
24	TBD TREE #141 ?	WILLOW?	13										REMOVE	PERIMETER	
25	TBD	TBD	10										PRESERVE	PARK	
26	TBD	TBD	8										PRESERVE	PARK	
27	TBD	TBD	10										PRESERVE	PARK	
28	TBD	TBD	8										PRESERVE	PARK	
29	TBD	TBD	15												
.30	TBD	TBD	6										PRESERVE	PARK	
.31	TBD - ALDER?		18										PRESERVE	PARK	
32	TBD-ALDE R?		14										PRESERVE	PARK	
33	TBD-ALDE		18										PRESERVE	PARK	
34	TBD	TBD	22											PARK	
35	TBD	TBD	5										REMOVE	INTERIOR	
36	TBD	TBD	5										REMOVE	INTERIOR	
37	TBD	TBD	5										REMOVE	INTERIOR	
 38	TBD	TBD	5										REMOVE	INTERIOR	



1501 E MADISON, SUITE 205 SEATTLE WA 98122-4465

206.322.1130









nity HUB . 98146		dib		2021-04-23
White Center Community HUB 10821 8th AVE SW SEATTLE, WA 98146	REVISIONS	NO. DATE DESCRIPTION		
<u>> = </u>	RE	N		

TREE PROTECTION

MINIUMUM DIAMETER OF EIGHT (8) INCHES FOR EVERGREENS AND TWELVE (12) INCHES FOR DECIDUOUS TREES

** EXISTING TREE ASSESSMENT BY URBAN FORESTRY SERVICES, INC, DATED MAY 11, 2018

TREELEGEND

TREE LEGEND								
	SCIENTIFIC NAME	COMMON NAME						
LARGE / MEDIUM SHA	DE TREES							
	FRAXINUS SPP.	ASH						
$\left(\hspace{-0.1cm}\left(\hspace{-0.1cm}\right)\hspace{-0.1cm}\right)$	LIRIODENDRON TULIPIFERA	TULIP TREE						
	QUERCUS COCCINEA	SCARLET OAK						
0	QUERCUS PHELLOS	WILLOW OAK						
	CERCIDIPHYLLUM JAPONICUM	KATSURA						
ORNAMENTAL TREES								
	ACER PALMATUM 'BLOODGOOD'	BLOODGOOD JAPANESE MAPLE						
	MAGNOLIA STELLATA	STAR MAGNOLIA						
	LAGERSTROEMIA NATCHEZ	NATCHEZ CRAPE MYRTLE						
SMALL MULTISTEM TRE	EES T							
	ACER CIRCINATUM	VINE MAPLE						
	CORNUS NUTALII	PACIFIC DOGWOOD						
	RHAMNUS PURSHIANA	CASCARA						
CONIFER/EVERGREEN	TREES							
www	ABIES GRANDIS	GRAND FIR						
Manufacture of the state of the	CALOCEDRUS DECURRENS	INCENSE CEDAR						
simile with the same of the sa	CHAMAECYPARIS NOOTKATENSIS	NOOTKA CYPRESS						
The state of the s	PINUS CONTORTA 'CONTORTA'	SHORE PINE						
	PSEUDOTSUGA MENZIESII	DOUGLAS FIR						
WETLAND BUFFER DEC	CIDUOUS TREES							
	ACER MACROPHYLLUM	BIG LEAF MAPLE						
	ALNUS RUBRA	RED ALDER						
	POPULUS TRICHOCARPA	BLACK COTTONWOOD						
WETLAND BUFFER CON	NIFER/EVERGREEN TREES							
يسر	PINUS 'CONTORTA'	SHORE PINE						
+ }	PSEUDOTSUGA MENZIESII	DOUGLAS FIR						
	THUJA PLICATA	WESTERN RED CEDAR						

NORTH PARKING LOT LANDSCAPE

PARKING STALLS PROVIDED	46
PARKING LANDSCAPE REQUIREMENTS LANDSCAPE AREA — 25SF PER STALL= LANDSCAPE AREA PROVIDED=	1,150SF 2,600SF
TREE REQUIREMENTS 1 TREE PER EVERY 5 STALLS= TREES PROVIDED	10 TREES 10 TREES
	l

SOUTH PARKING LOT LANDSCAPE

PARKING STALLS PROVIDED	40
PARKING LANDSCAPE REQUIREMENTS LANDSCAPE AREA — 25SF PER STALL= LANDSCAPE AREA PROVIDED=	1,000SF 1,500SF
TREE REQUIREMENTS 1 TREE PER EVERY 3 STALLS=	14 TREES
TREES PROVIDED EXISTING TREES PROPOSED TREES	2 TREES 12 TREES 14 TREES

LANDSCAPE PERIMETER REQUIREMENTS

AREA	LANDSCAPE REQUIREMENT		LANDSCAPE PROVIDED		NOTES			
	WIDTH	TYPE	# TREES	WIDTH	TYPE	# TREES	NOTES	
NORTH PERIMETER	10'	III	10	AVERAGE 10'	III	11	COUNTING EXISTING VEGETATION TOWARDS 10' AVERAGE WIDTH.	
EAST PERIMETER 1	10'	III	5	AVERAGE 10'	III	5	4 PROPOSED TREES. 1 EXISTING TREE.	
EAST PERIMETER 2	10'	III	5	8'	III	5	LANDSCAPE BED IS NARROWER TO PROTECT CRITICAL ROOT ZONE OF EXISTING TREES TO REMAIN	
EAST PERIMETER 3	10'	II	3	10'	II	3		
EAST PERIMETER 4	20'	I	10	20'	I	10		
SOUTH PERIMETER 1	20'	I	8	20'	I	8		
SOUTH PERIMETER 2	20'	III	10	AVERAGE 20'	III	10	PROPOSED VARIANT TO USE TYPE III INSTEAD OF TYPE I TO ALLOW FOR VISUAL CONNECTION TO PARK	
WEST PERIMETER 1	20'	III	3	AVERAGE 25'	III	3	PROPOSED VARIANT TO USE TYPE III INSTEAD OF TYPE I TO ALLOW FOR VISUAL CONNECTION TO PARK	
WEST PERIMETER 2	20'	II	8	AVERAGE 20'	II	8	7 PROPOSED, 1 EXISTING TREE	
WEST PERIMETER 3	20'	II	8	AVERAGE 18'	II	6	3 EXISTING TREES, 3 PROPOSED. CRITICAL ROOT ZONE OF EXISTING TREES LIMIT PLANTING AREA.	
	I .		1					







TYPE I: ORNAMENTAL & NATIVE SCREEN PLANT SCHEDULE

LARGE SHRUBS					
	SCIENTIFIC NAME	COMMON NAME			
	CAMELLIA JAPONICA	JAPANESE CAMELLIA			
	RHODODENDRON MACROPHYLLUM	PACIFIC RHODODENDRON			
	PIERIS JAPONICA	JAPANESE PIERIS			
	PHILADELPHUS 'BELLE ETOILE'	BELLE ETOILE MOCK ORANGE			
	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY			
SMALL SHRUBS					
	POLYSTICHUM MUNITUM	SWORD FERN			
GROUNDCOVER					
	FRAGARIA CHILOENSIS	BEACH STRAWBERRY			

PARKING LOT PLANT SCHEDULE

MEDIUM/ SMALL SH	MEDIUM/ SMALL SHRUBS & ACCENT PLANTS				
	SCIENTIFIC NAME	COMMON NAME			
	BRACHYGLOTTIS GREYI	SENECIO GREYI			
	CORNUS SERICEA 'KELSEYII'	KELSEY DOGWOOD			
	HAMAMELIS X INTERMEDIA 'PALLIDA'	WITCH HAZEL			
	HEBE 'KARO GOLDEN ESK'	GOLDEN ESK HEBE			
	LONICERA PILEATA	PRIVET HONEYSUCKLE			
	MAHONIA AQUIFOLIUM 'COMPACTA'	COMPACT MAHONIA			
	PINUS MUGO VAR. PUMILIO	DWARF MUGO PINE			
	ROSEMARINUS OFFICINALIS 'SALEM'	SALEM ROSEMARY			
GROUNDCOVER					
	SARCOCOCCA HUMILIS	SARCOCOCCA			
PERENNIALS					
	ACHILLIA 'MOONSHINE'	YARROW			
	ALLIUM SENSENSCENS 'BLUE EDDY'	BLUE EDDY ALLIUM			
	IRIS GERMANICA	BEARDED IRIS			
	REDBECKIA 'LITTLE GOLDSTAR'	LITTLE GOLDSTAR BLACK-EYED SUSAN			
	CALAMAGROSTIS X ACUTIFLORA 'OVERDAM'	OVERDAM FEATHER REED GRASS			
	GALANTHUS NIVALIS	SNOWDROP			
	JUNCUS PATENS	COMMON RUSH			
	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILYTURF			
	NARCISSUS SSP	DAFFODIL			
	PENNISETUM ALOPECUROIDES 'HAMELN'	FOUNTAIN GRASS			
	PHLOMIS RUSSELIANA	HARDY JERUSALEM SAGE			

TYPE II & TYPE III PLANT SCHEDULE				
LARGE/ MEDIUM SI	HRUBS			
	SCIENTIFIC NAME	COMMON NAME		
	CORYLUS CORNUTA	BEAKED HAZELNUT		
	GAULTHERIA SHALLON	SALAL		
	MAHONIA AQUIFOLIUM	HOLLY-LEAVED OREGON GRAPE		
	MYRICA CALIFORNICA	WAX MYRTLE		
	PHILADELPHUS LEWISII	MOCK ORANGE		
	PHYSOCARPUS OPULIFOLIUS 'CENTER GLOW'	NINEBARK		
	RIBES SANGUINEUM	RED FLOWERING CURRANT		
	RHODENDRON MACROPHYLLUM	PACIFIC RHODODENDRON		
	RUBUS PARVIFLORUS	WESTERN THIMBLEBERRY		
	SYMPHORICARPOS ALBUS	SNOWBERRY		
	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY		
SMALL SHRUBS	T			
	MAHONIA AQUIFOLIUM 'COMPACTA'	COMPACT OREGON GRAPE		
	PAXISTIMA MYRTIFOLIA	OREGON BOXWOOD		
	SPIREA BETULIFOLIA VAR. LUCIDA	WHITE SPIREA		
PERENNIALS & FERNS				
	ALLIUM CERNUUM 'LEO'	NODDING ONION		
	ACHILLEA MILLEFOLIUM 'PAPRIKA'	YARROW		
	BLECHNUM SPICANT	DEER FERN		
	GYMNOCARPIUM DRYOPTERIS	AUTUMN FERN		
	IRIS TENAX	TOUGH-LEAF IRIS		
	POLYSTICHUM MUNITUM	SWORD FERN		
GROUNDCOVER				
	ARCTOSTAPHYLOS UVA-URSI	KINNIKINNICK		
	JUNIPERUS COMMUNIS 'PIONEER'	PIONEER COMMON JUNIPER		
	SATUREJA DOUGLASI	YERBA BUENA		
	TELLIMA GRANDIFLORA	FRINGE CUP		
	VIOLA SEMPERVIRENS	EVERGREEN VIOLET		

TYPE III HEDGE PLANT SCHEDULE

SCIENTIFIC NAME

MAHONIA AQUIFOLIUM 'COMPACTA'

SHRUBS

	MAHONIA REPENS	CREEPING BARBERRY
	RHODODENDRON 'PJM'	PJM RHODODENDRON
	RHODODENDRON 'YAKU SUNRISE'	YAKU SUNRISE RHODODENDRON
	VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY
	VACCINIUM CORYMBOSUM 'FLX-2'	BOUNTIFUL BLUE BLUEBERRY
GROUNDCOVER		
	ARCTOSTAPHYLOS UVA-URSI	KINNIKINNICK
	ASARUM CAUDATUM	WILD GINGER
	FRAGARIA VESCA	WILD STRAWBERRY
	SATUREJA DOUGLASII	YERBA BUENA

COMMON NAME

COMPACT OREGON GRAPE

WETLAND BUFFER PLANT SCHEDULE

ETLAND BUFFER	RGROUNDCOVER	
	SCIENTIFIC NAME	COMMON NAME
	TOLMIEA MENZIESII	PIGGY-BACK PLANT
70707070707070707070707070707070707070	PETASITES FRIGIDUS	COLTSFOOT
ETLAND BUFFER &	DRIER BUFFER SHRUBS	
	ACER CIRCINATUM	VINE MAPLE
	CORNUS STOLONIFERA	RED-OSIER DOGWOOD
	OEMLERIA CERASIFORMIS	INDIAN PLUM
	PHILADELPHUS LEWISII	MOCK ORANGE
	PHYSOCARPUS CAPITATUS	PACIFIC NINEBARK
	RIBES SANGUINEUM	RED FLOWERING CURRANT
	RUBUS SPECTABILIS	SALMONBERRY
	SALIX LASIANDRA	PACIFIC WILLOW
	SAMBUCUS RACEMOSA	RED ELDERBERRY
	SYMPHORICARPOS ALBUS	SNOWBERRY
ETLAND BUFFER &	DRIER BUFFER GRASSES & FERNS	
	DESCHAMPSIA CAESPITOSA	TUFTED HAIRGRASS
	DRYOPTERIS EXPANSA	SHIELD FERN
RIER BUFFER GRASS	SES & FERNS	
77777777777777777777777777777777777777	FESTUCA IDOHENSIS	IDAHO FESCUE
	POLYSTICHUM MUNITUM	SWORD FERN
	PTERIDIUM AQUILINIUM	BRACKEN FERN
RIER BUFFER GROUI	NDCOVER & HERBS	
	ARCTOSTAPHYLOS UVA-URSI	KINNIKINNICK
7	EPILOBIUM ANGUSTIFOLIUM	FIREWEED

INTERIOR SITE PLANT SCHEDULE

LARGE/ MEDIUM SHRUBS					
	SCIENTIFIC NAME	COMMON NAME			
	ACANTHUS MOLLIS	BEAR'S BREACHES			
	CAMELLIA JAPONICA	JAPANESE CAMELLIA			
	CALLUNA VULGARIS	HEATHER			
	CHOISYA TERNATA	MEXICAN ORANGE			
	HAMAMELIS X INTERMEDIA 'ARNOLD PROMISE'	ARNOLD PROMISE HYBRID WITCH HAZEL			
	PIERES JAPONICA	JAPANESE PIERIS			
	RHODODENDROM MACROPHYLLUM	PACIFIC RHODODENDRON			
	RHODODENDRON 'YAKU SUNRISE'	YAKU SUNRISE RHODODENDRON			
SMALL SHRUBS & G	GROUNDCOVER				
	POLYSTICHUM MUNITUM	SWORD FERN			
	SARCOCOCCA HUMILIS	SARCOCOCCA			
PERENNIALS					
	IRIS TENAX	TOUGH-LEAFED IRIS			
	HEMEROCALLIS LILIOASPHODELUS	LIMON LILY			
	NARCISSUS SSP.	DAFFODIL			
	SEDUM AUTUMN JOY	AUTUMN JOY STONE CROP			

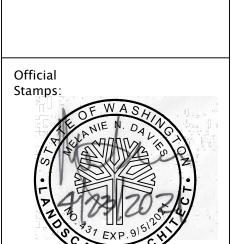


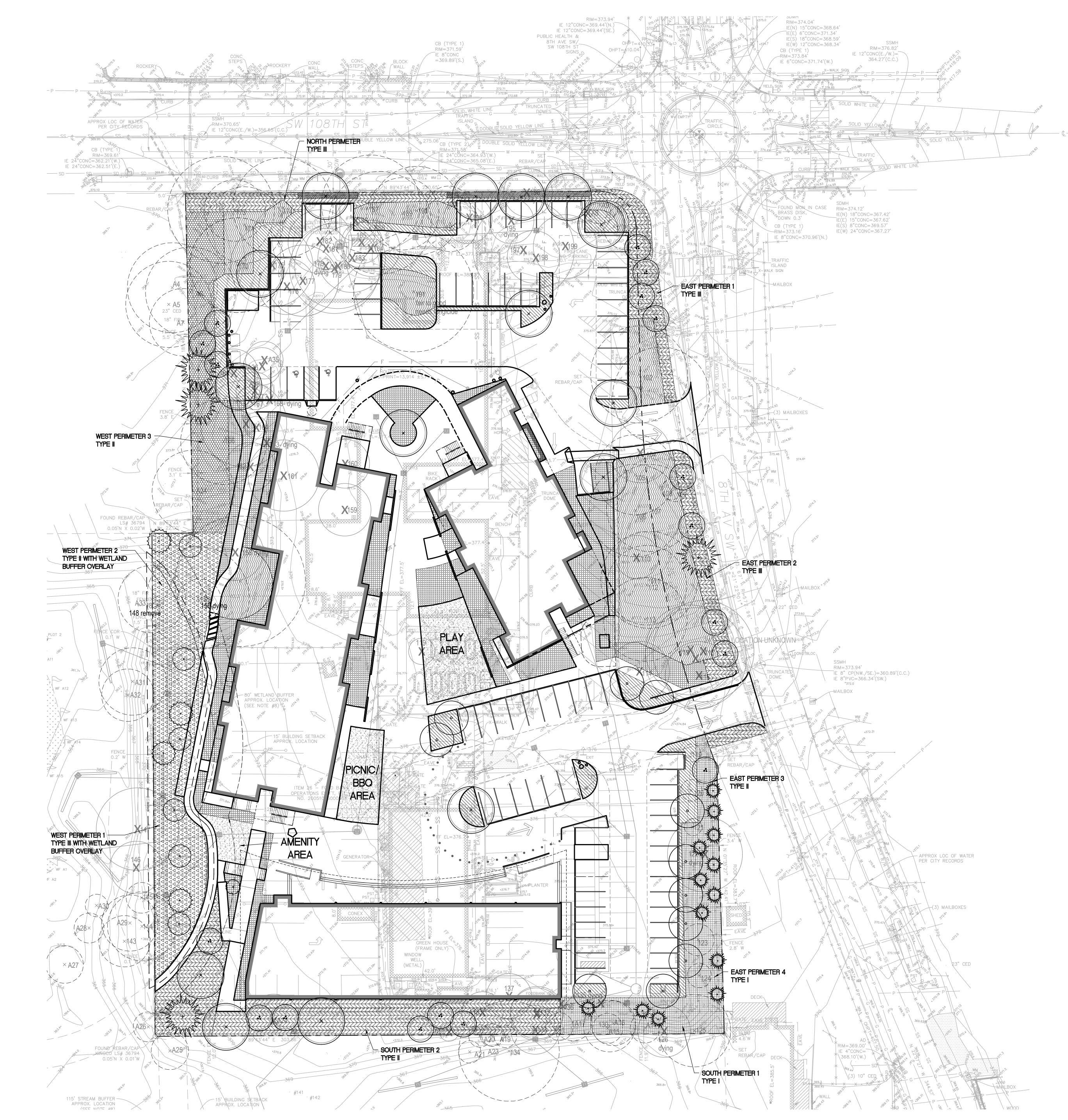
SUNDBERG KENNEDY LY-AU YOUNG **ARCHITECTS**

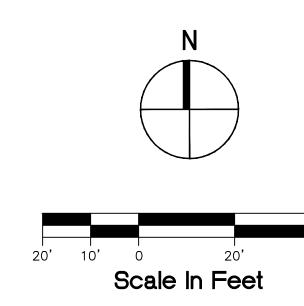
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EXISTING TREE LEGEND

— EXISTING TREE TO REMAIN— CRITICAL ROOT ZONE TREE TAGGED AND ASSESSED BY ARBORIST EXISTING TREE TO REMAIN - CRITICAL ROOT ZONE TREE SHOWN ON SURVEY- NOT TAGGED BY ARBORIST EXISTING TREE TO BE REMOVED OR HAS BEEN REMOVED

LANDSCAPE TYPE LEGEND

	TYPE I — FULL SCREEN
	TYPE II — FILTERED SCREEN
	TYPE III — SEE THROUGH SCREEN
	TYPE III — HEDGE
	PARKING LOT
	INTERIOR
	WETLAND BUFFER
	PRESERVE / PROTECT EXISTING TREES AND VEGETATION — ADD MULCH AS NEEDED

NOTES

- 1. SEE SHEETS L101-L101.2 FOR TREE RETENTION. 2. SEE SHEET L102.1 AND L102.2 FOR LANDSCAPE REQUIREMENTS
- AND PLANT SCHEDULES. 3. PLAN SHOWS TREES REQUIRED FOR PERIMETER AND PARKING
- 4. TREE RETENTION/REPLACEMENT. 84 (2" CALIPER DECIDUOUS TREES OR MIN 5 FOOT TALL EVERGREEN TREES) TREES HAVE BEEN IDENTIFIED FOR REPLACEMENT OF SIGNIFICANT TREES. THESE TREES ARE PROPOSED TO BE LOCATED WITHIN INTERIOR OF SITE. ALTERNATE LOCATION FOR SOME TREES MAY BE PARK WETLAND AREA ON WEST SIDE OF SITE.

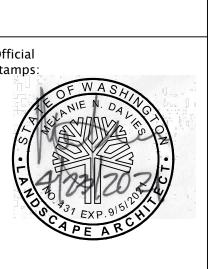


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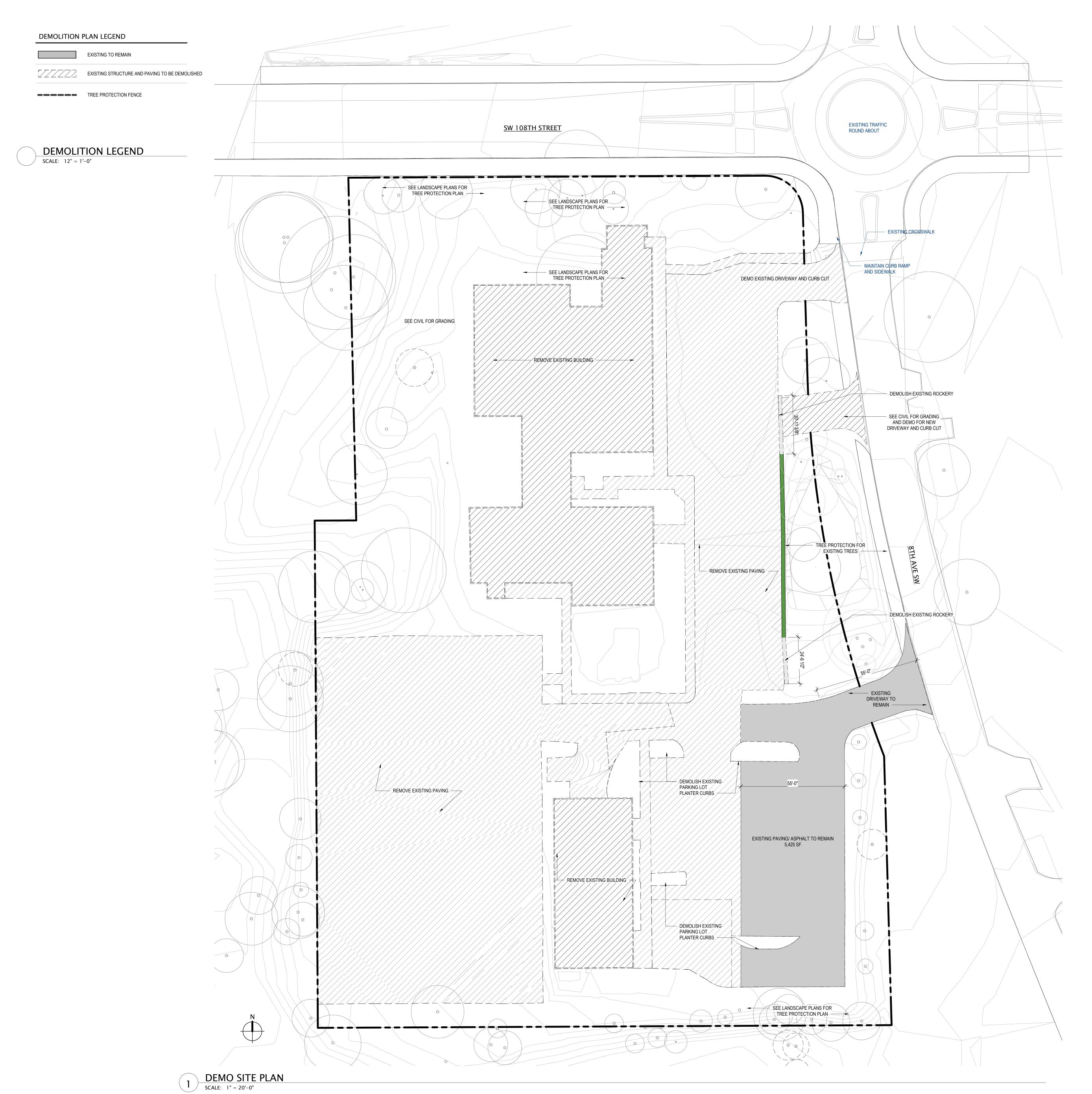












SUNDBERG KENNEDY LY-AU YOUNG ARCHITECTS

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White Center Community Development Association

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